

# Planning Committee

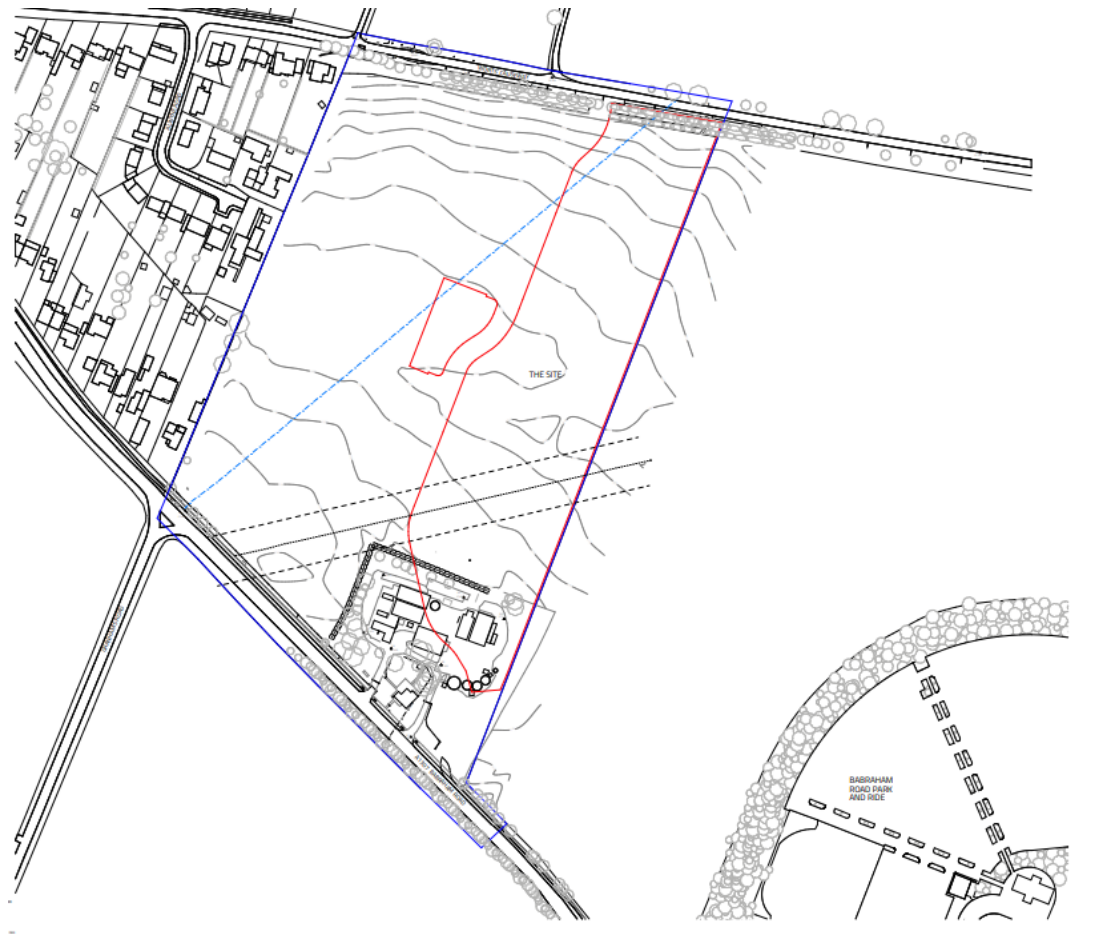
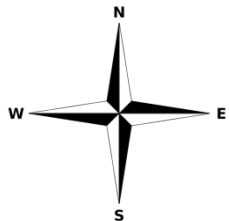


**GREATER CAMBRIDGE**  
SHARED PLANNING

# MAJOR APPLICATIONS

# 22/02646/REM Land at Newbury Farm, Babraham Road, Cambridge Site Location Plan

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# 22/02646/REM Proposed Site Plan

Page 4



# 22/02646/REM

## Proposed Long Elevation Facing East

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A PROPOSED NORTHERN SITE LONG ELEVATION FACING EAST  
SCALE 1:250



B PROPOSED SOUTHERN SITE LONG ELEVATION FACING EAST  
SCALE 1:250



C PROPOSED SOUTHERN SITE LONG ELEVATION FACING EAST  
SCALE 1:250

March 2023 changes to original submission	
General changes to landscape, refer to Fanner Murray's drawings for details	
1.	Redesign of Plot 76
2.	Amendments
3.	Redesign of Plot 67
4.	Relocate Gas Main
5.	Plot 53 location adjacent to Sidem

# 22/02646/REM

## Proposed Long Elevation Facing West (part)

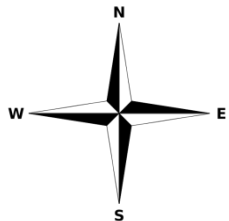
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# MINOR APPLICATIONS

# 22/05585/FUL Darwin Green Sports Pavilion Site Location Plan

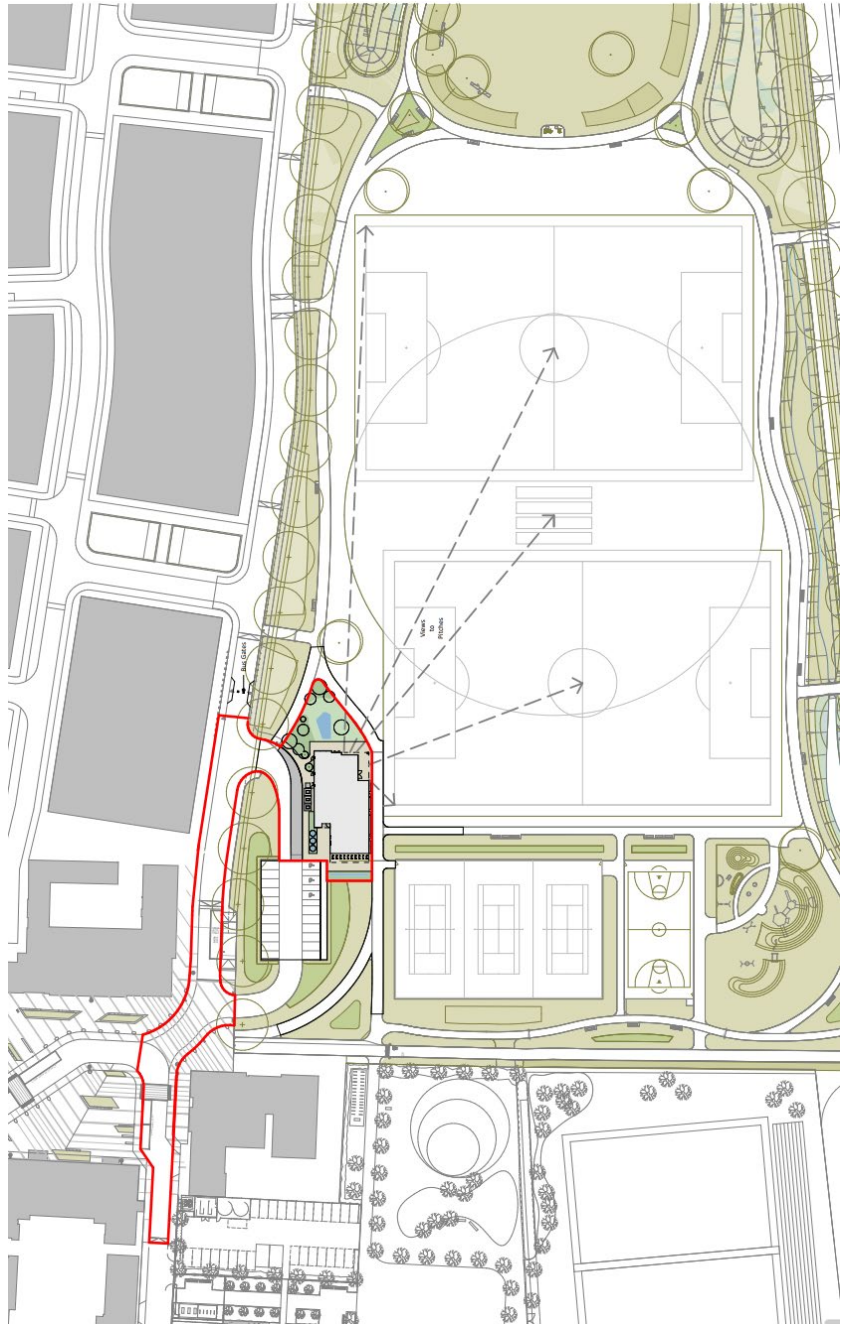
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# Proposed site block Plan

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# Proposed elevations

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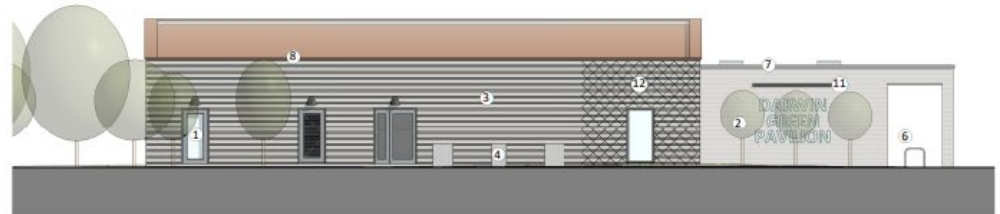
**North-East Elevation**  
1 : 100@A1



**2. South-East Elevation**  
1 : 100@A1



**3. South-West Elevation**  
1 : 100@A1



**4. North-West Elevation**  
1 : 100@A1

# Planning Balance

## Approval

Key material considerations

- Complies with Darwin Green Outline permission
- Meets Local Plan Policy Sustainable high-quality design
- Provides for range of community uses
- Positively contributes to the Darwin Green Local Centre and Central Park



## Refusal

Key material considerations

None.

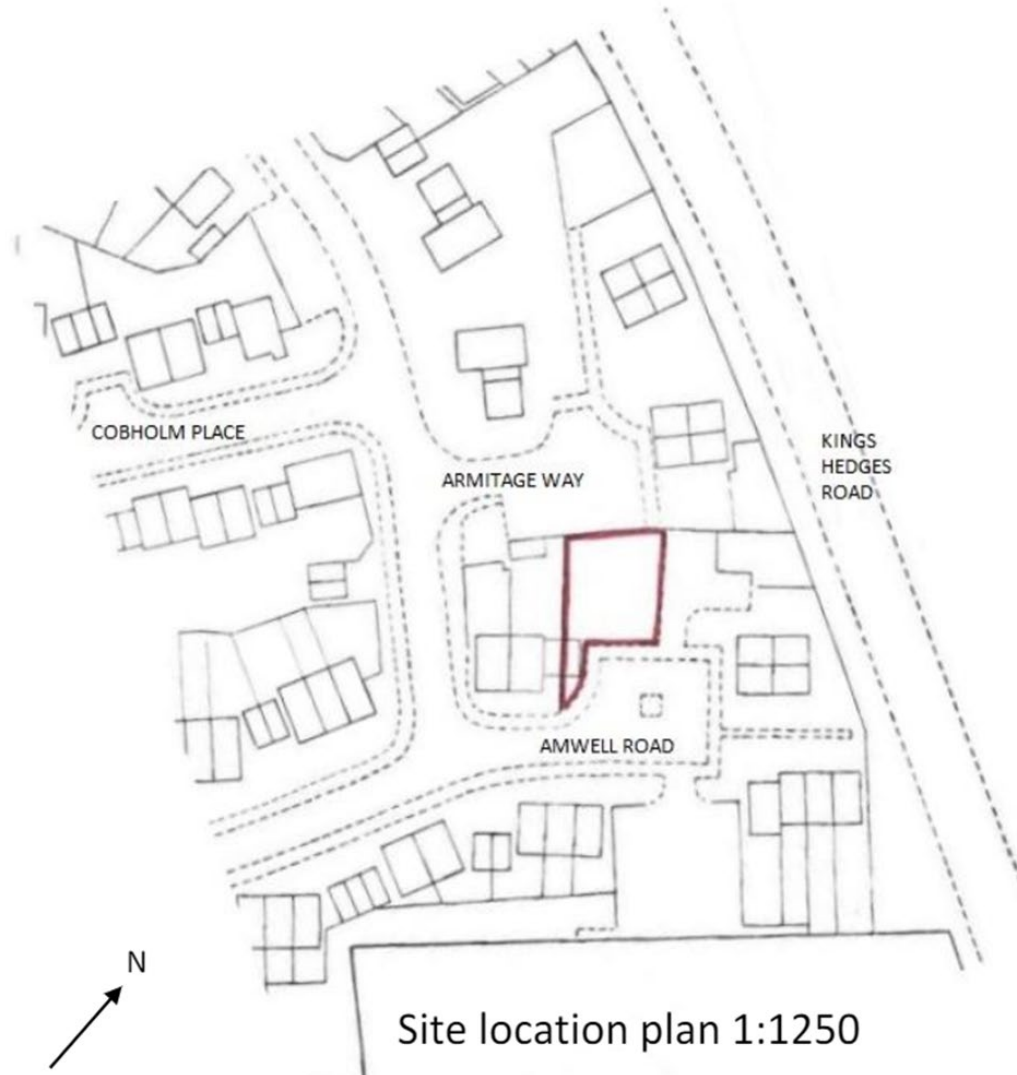
Officer Recommendation: Approve

*Ref no.22/05472/FUL*

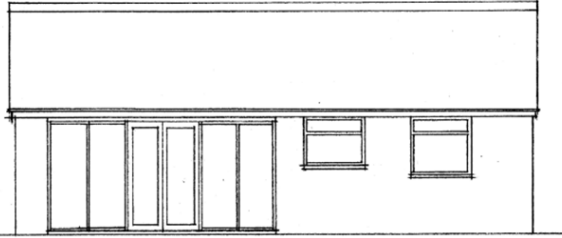
*36 Amwell Road*

# Site Location Plan

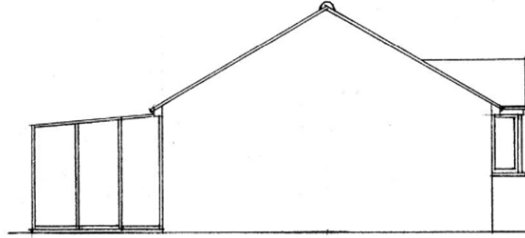
Page 14



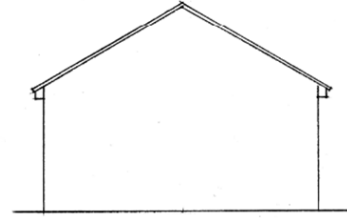
# Existing Site Elevations



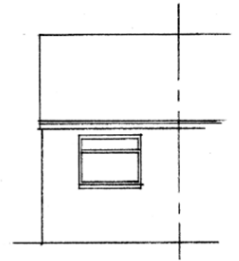
Exis bungalow, N-W elevation to rear garden



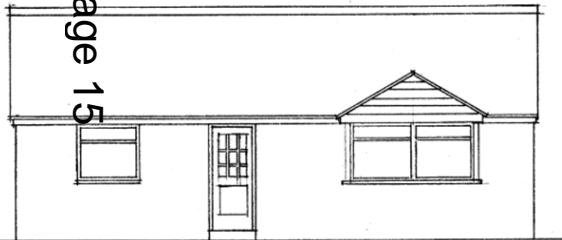
Exis bungalow, S-W elevation



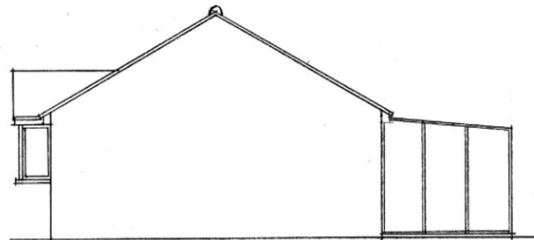
Exis garage, N-E elevation



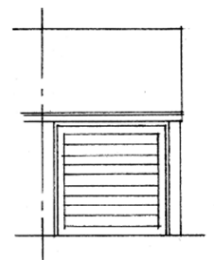
Exis garage, N-W elevation



Exis bungalow, S-E elevation to Amwell Road



Exis bungalow, N-E elevation

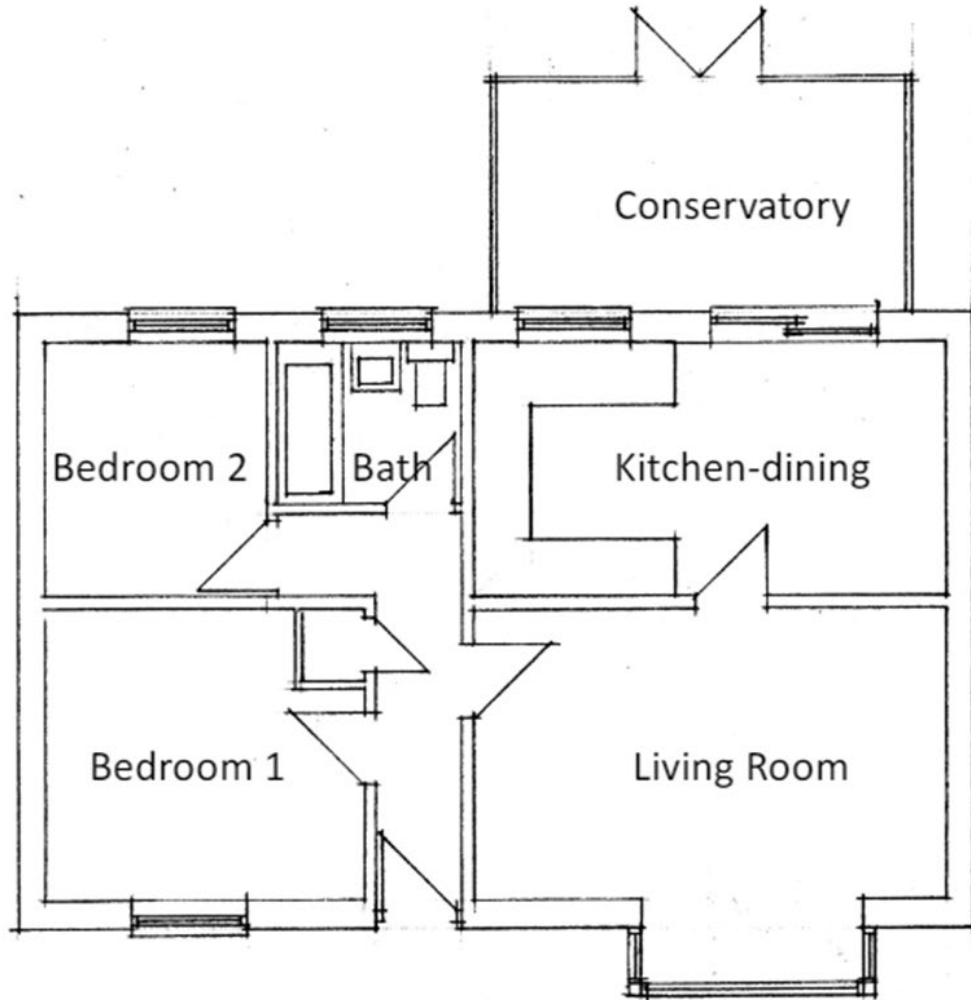


Exis garage, S-E elevation

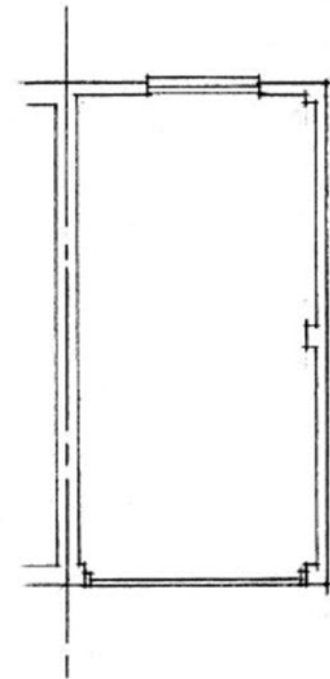
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# Existing Site Floor Plans

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Floor plan of existing bungalow



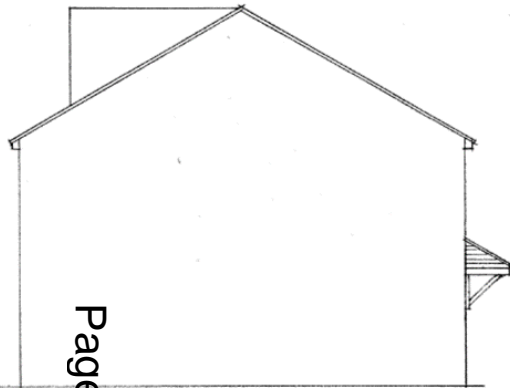
Floor plan of existing garage<sub>16</sub>



# Proposed Site Plan



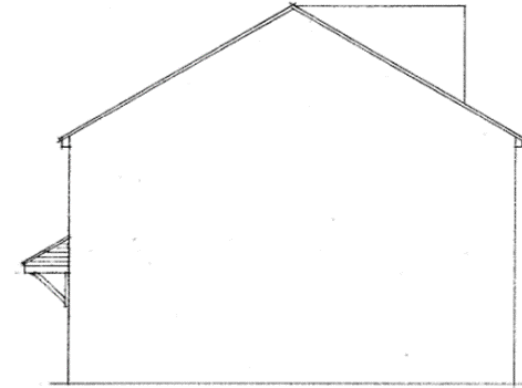
# Proposed Elevations



Side elevation (south-west)

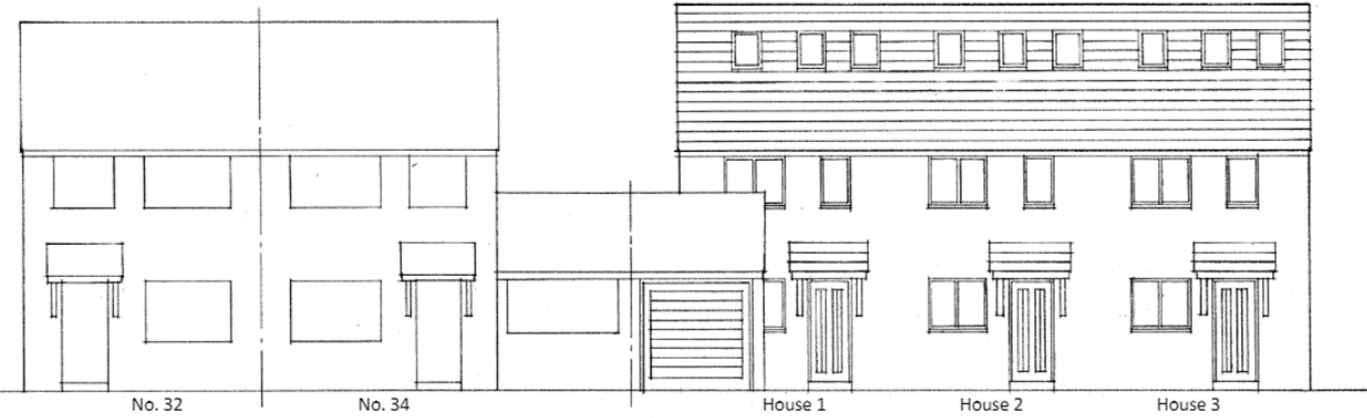


Rear elevation (north-west)



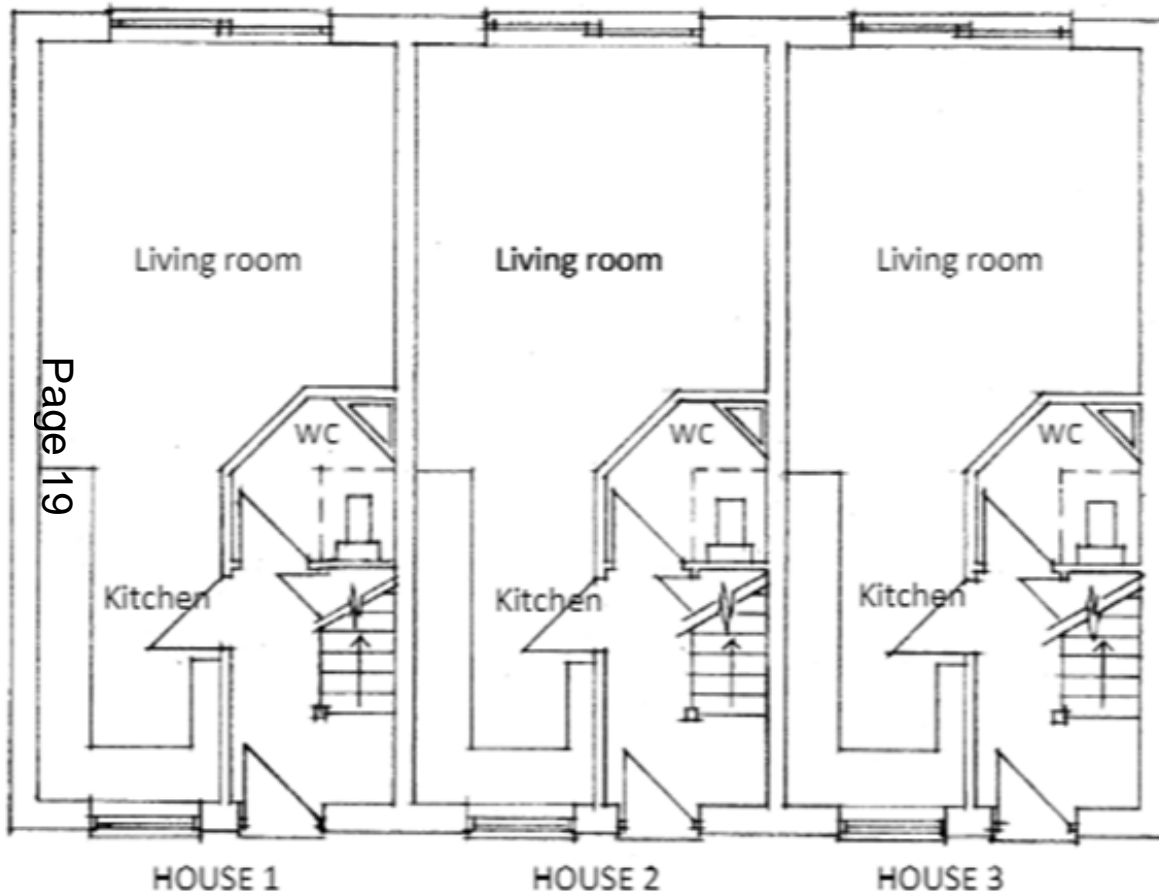
Side elevation (north-east)

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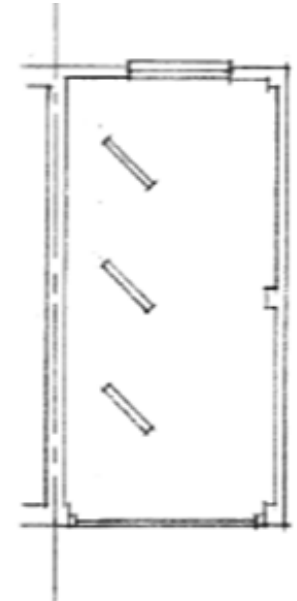
South-east elevation to Amwell Road showing adjacent houses and existing garage

# Proposed Ground Floor



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Ground floor plan

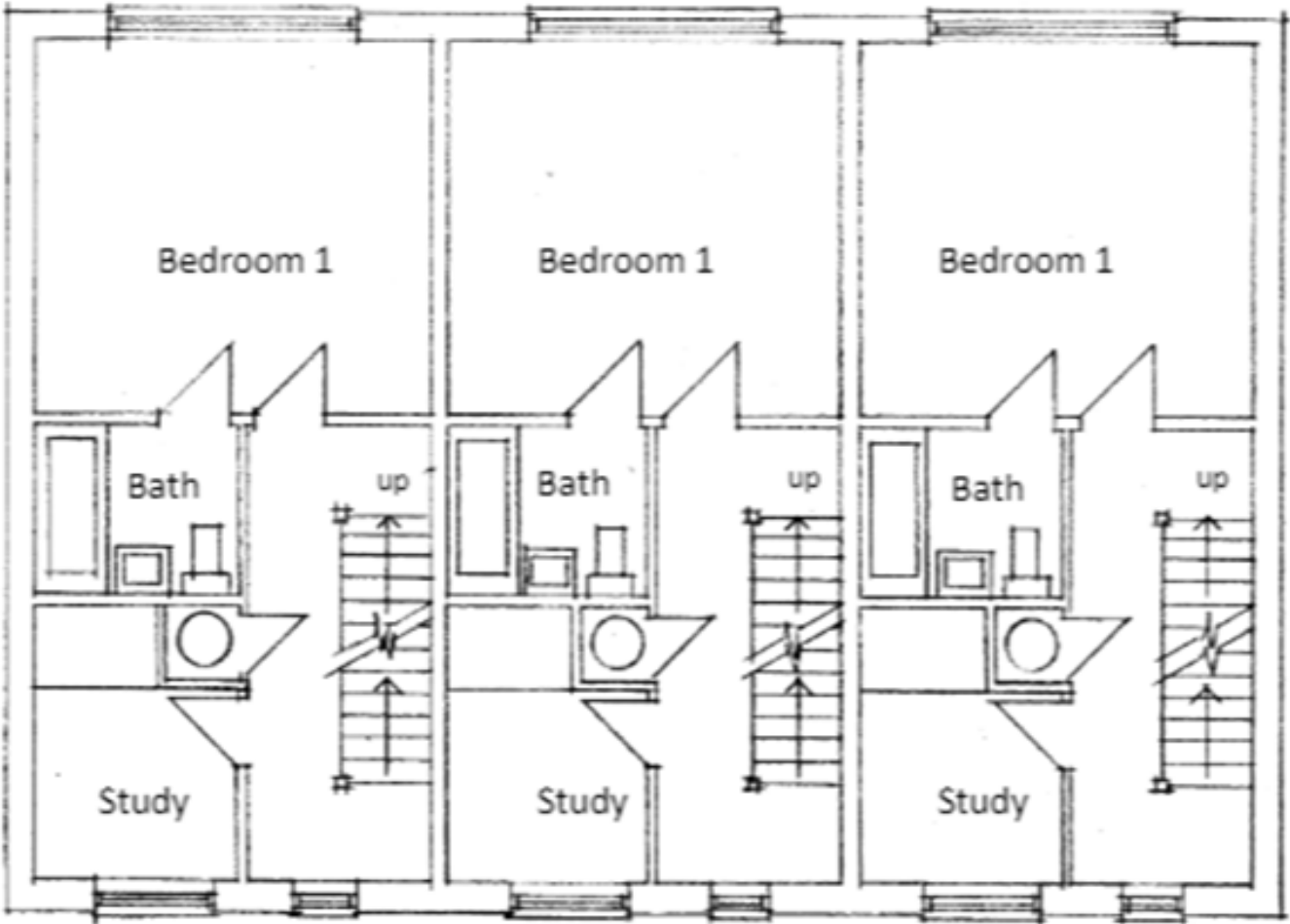


Garage plan

Proposed new housing at

# Proposed First Floor

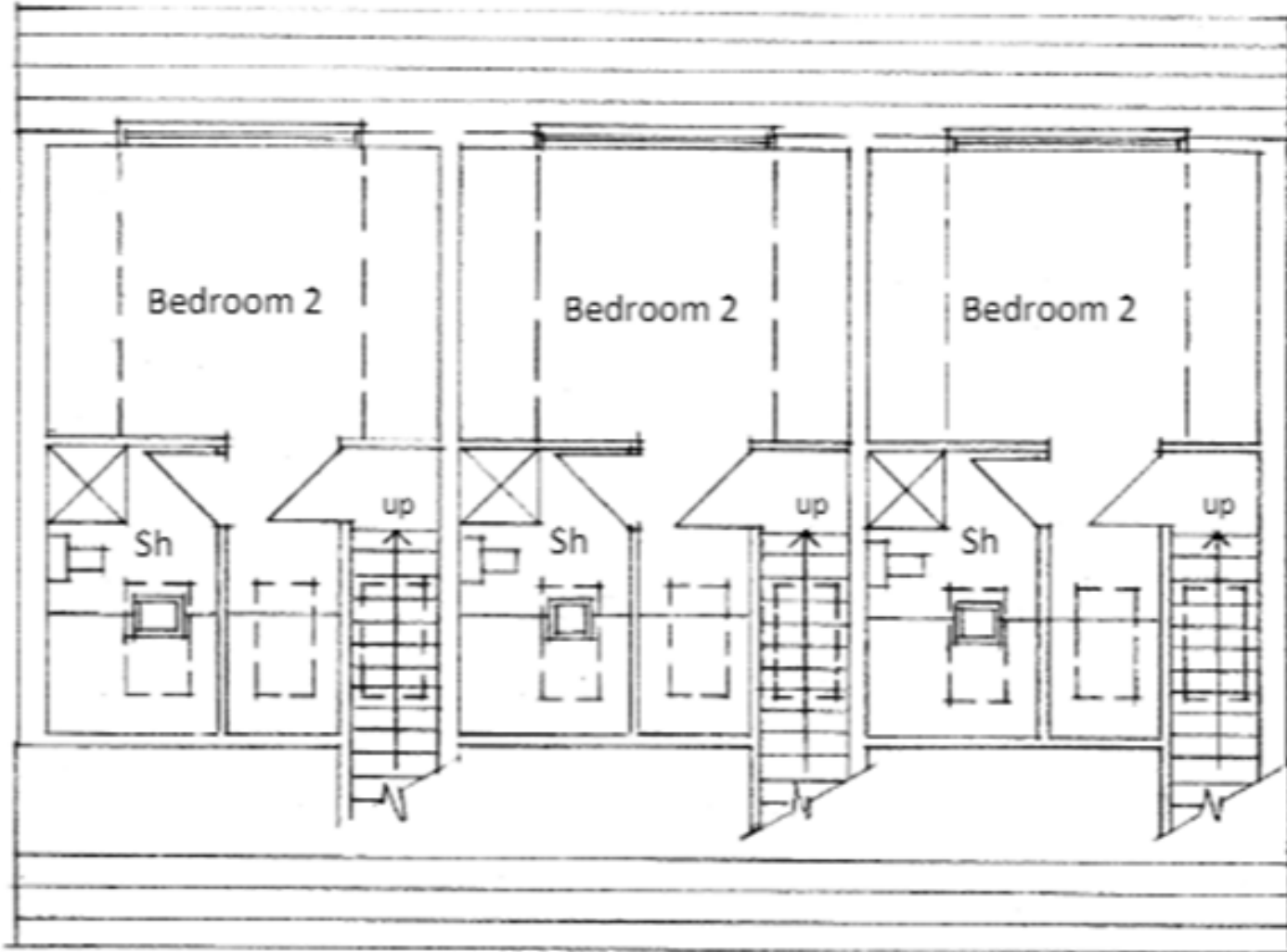
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First floor plan

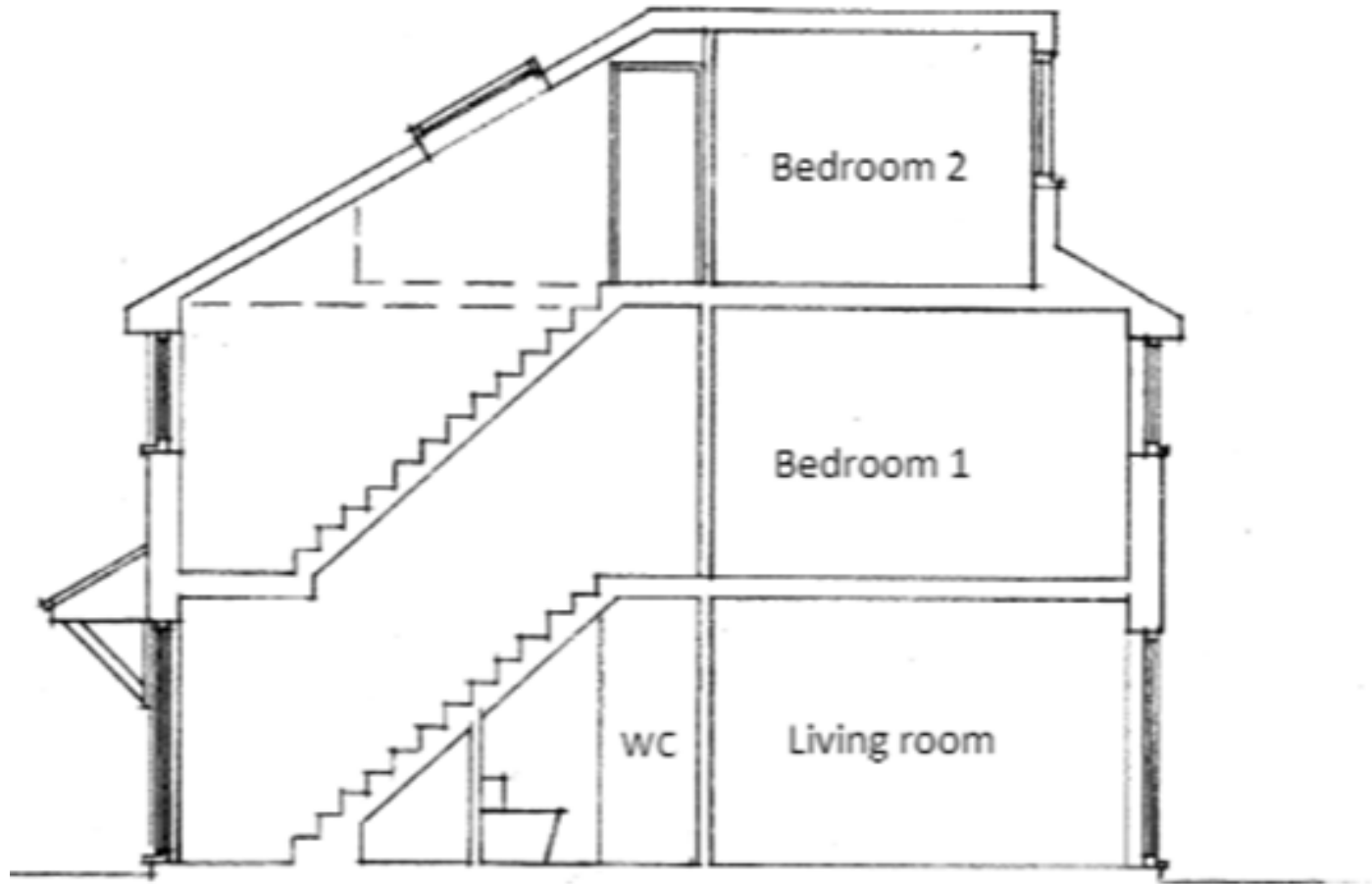
# Proposed Second Floor

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Second floor plan (attic level)

# Proposed Section



Section

# Planning Balance

## Approval

Key material considerations

- Provision of three dwellings to help meet the needs identified in the Local Plan.
- No significant adverse impacts
- In character and keeping with the local area.



## Refusal

Key material considerations

- None

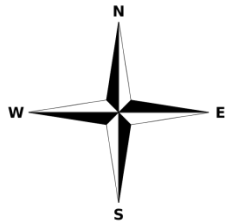
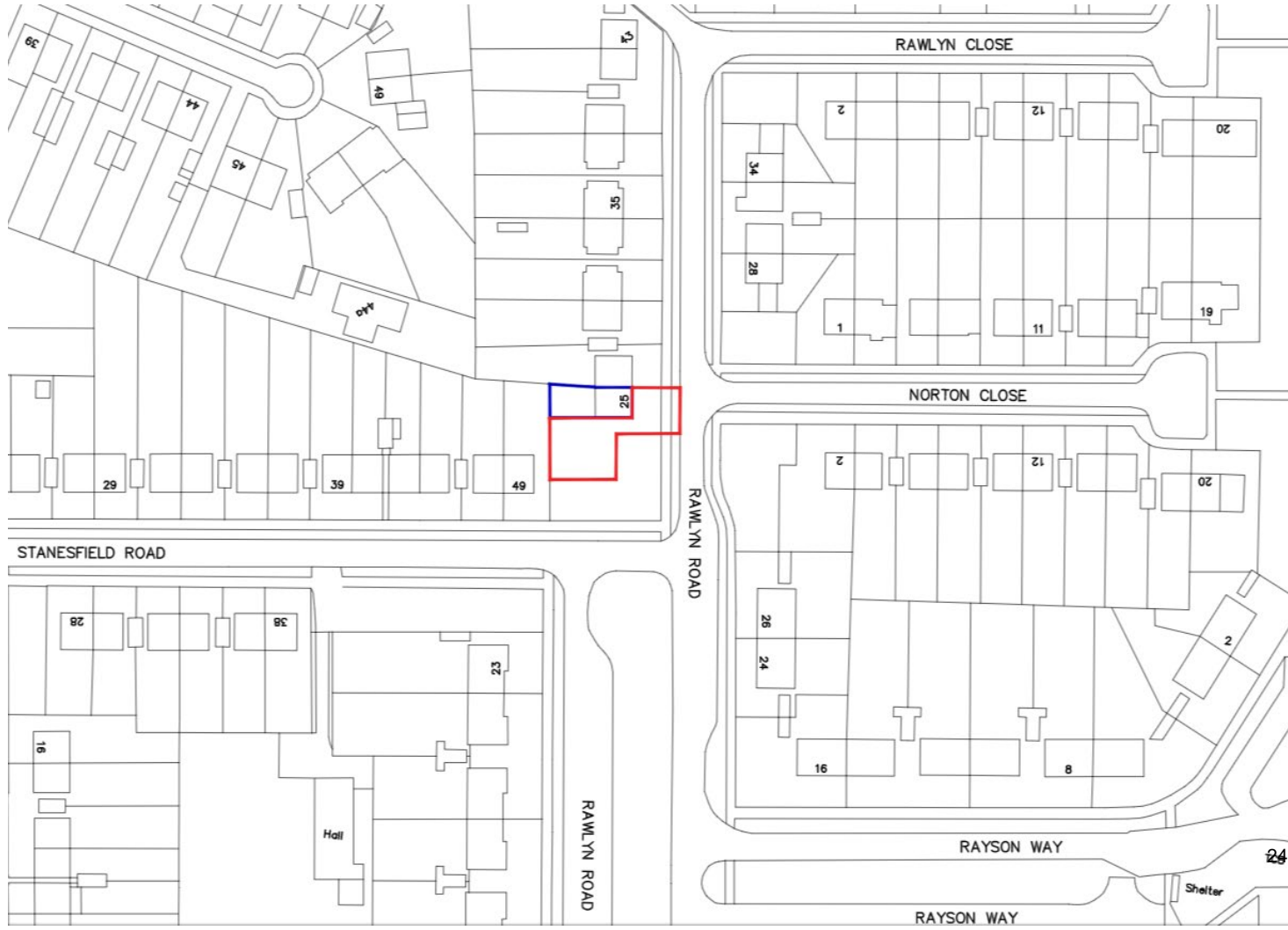
Officer Recommendation: Approve

# 22/05590/FUL

## 25 Rawlyn Road

### Site Location Plan

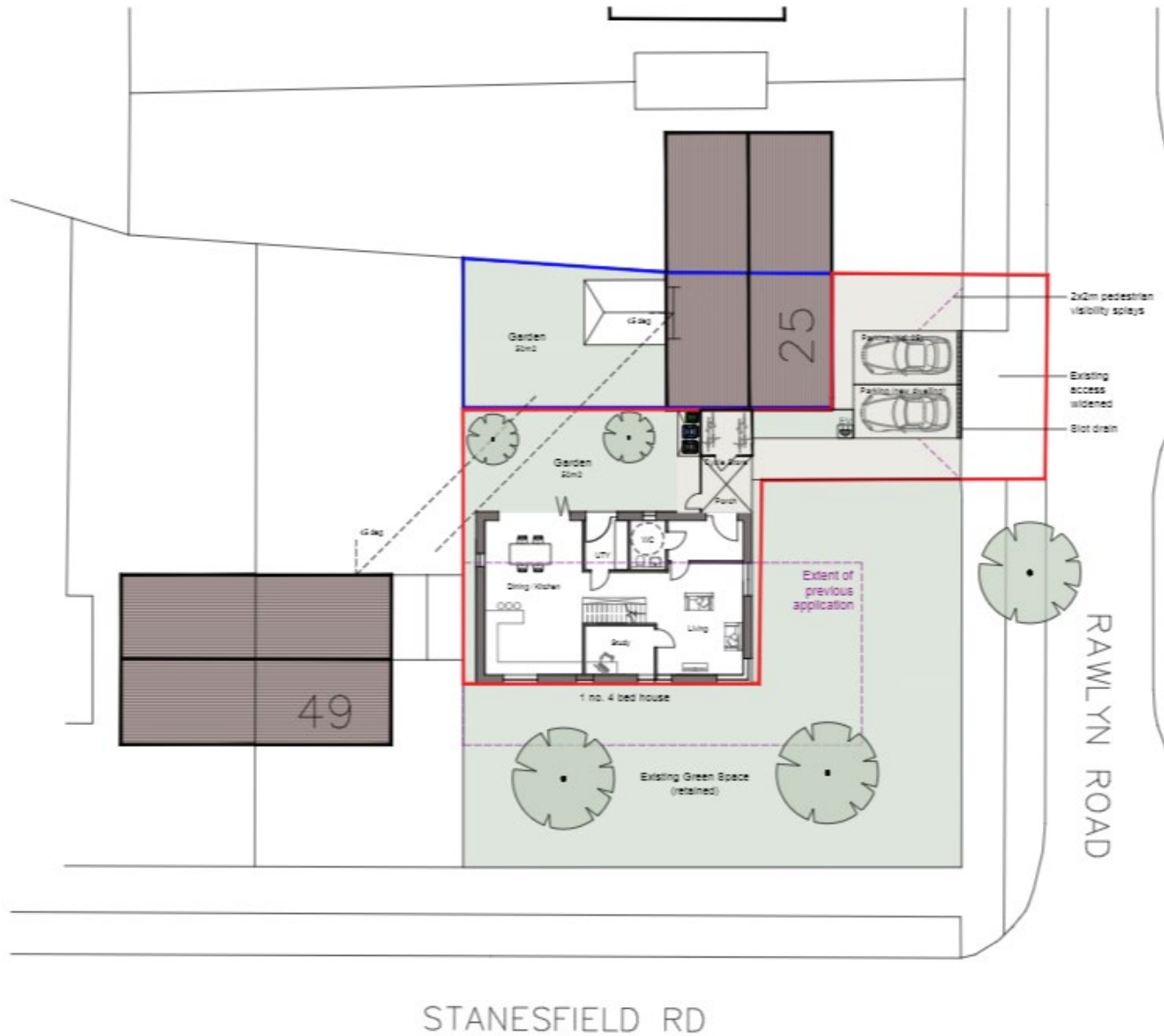
Page 24





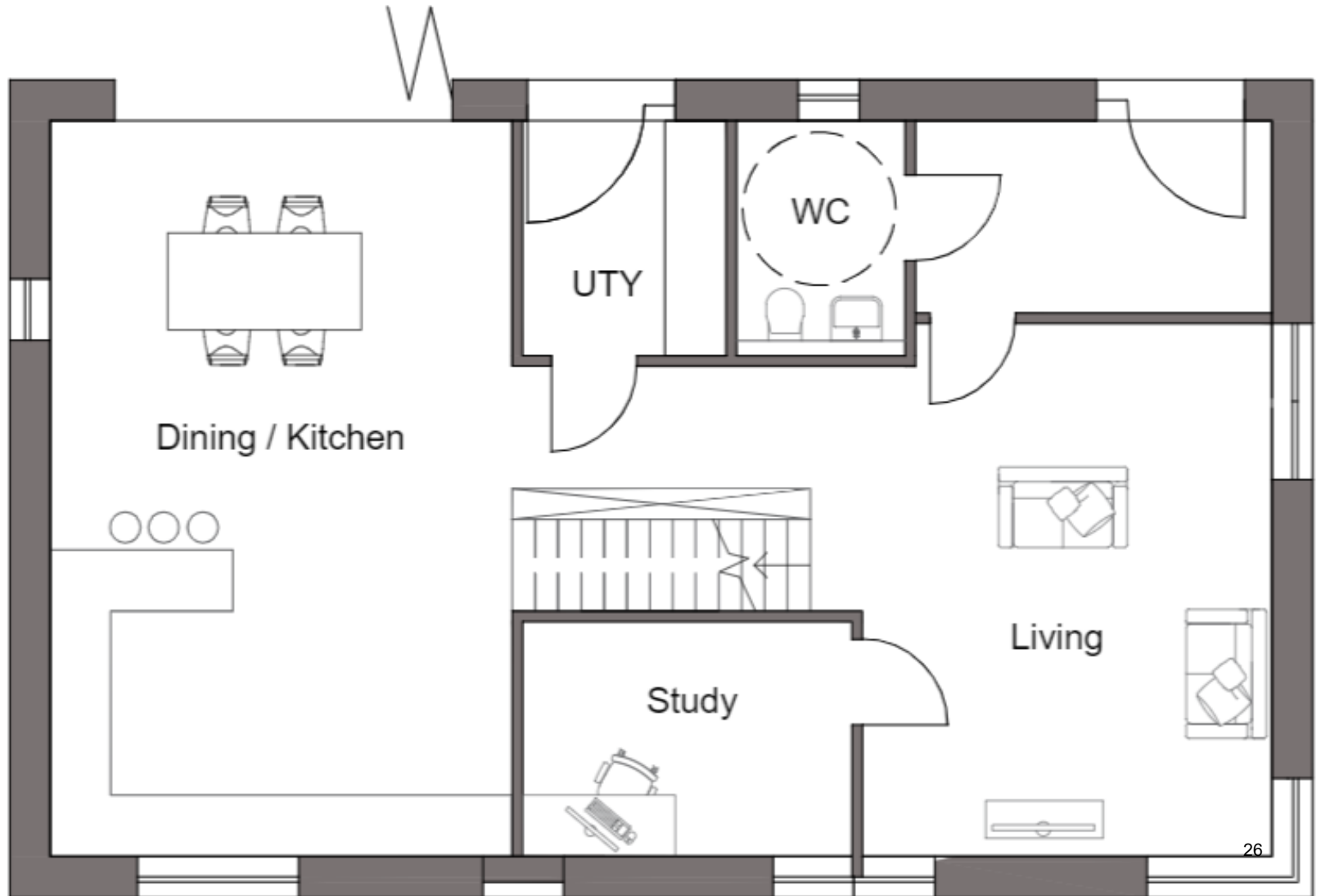
# Site Plan

Page 25



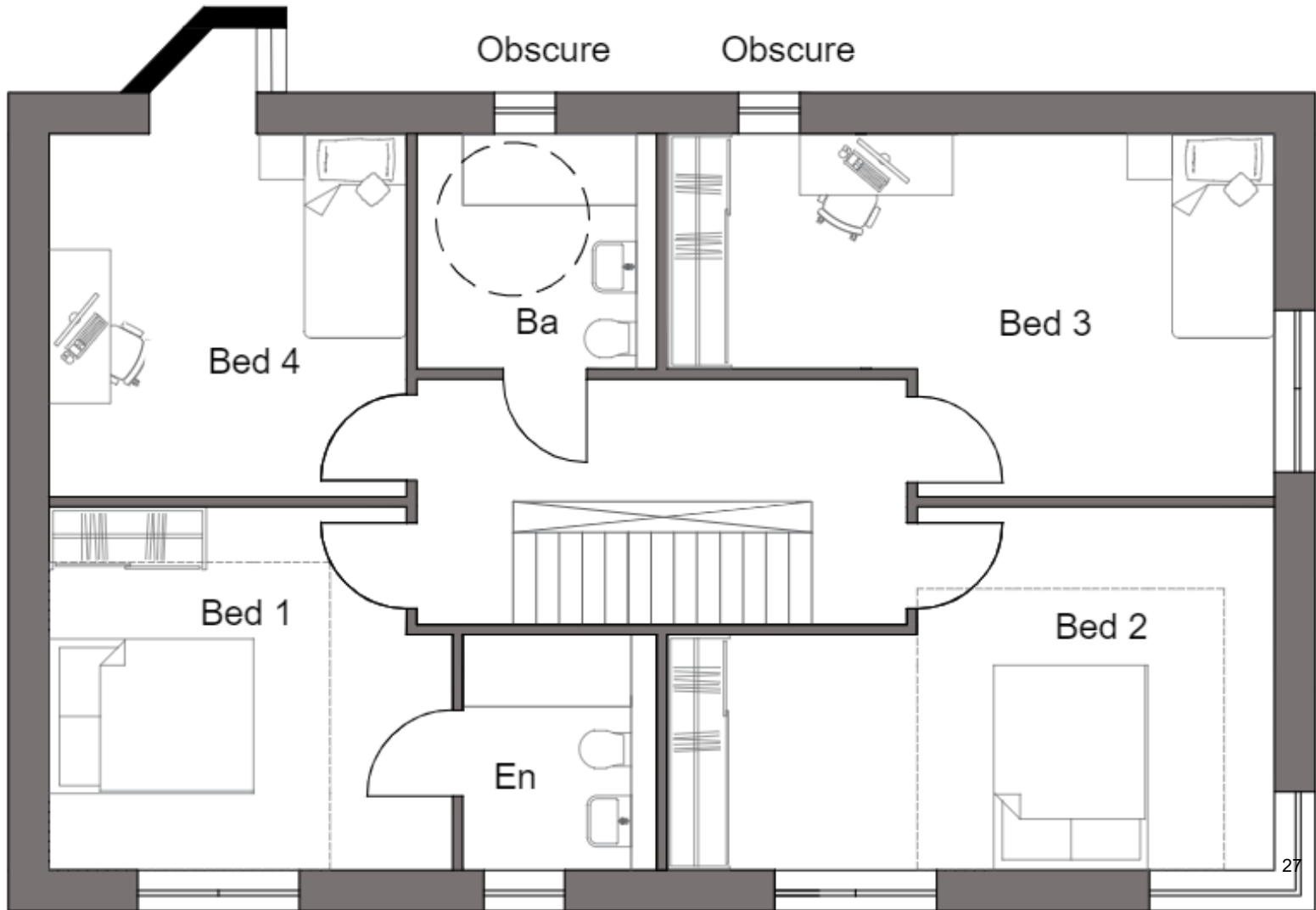
# Ground Floor Plan

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# First Floor Plan

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# Southern elevation



# Eastern elevation

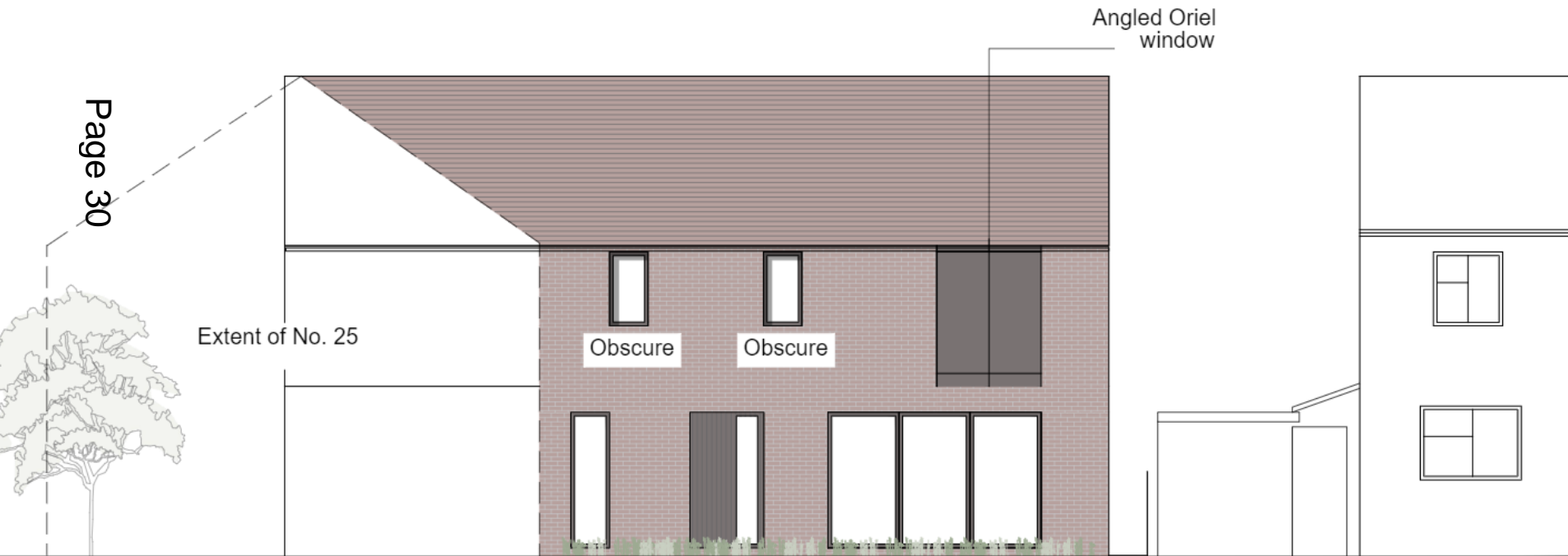
Previous

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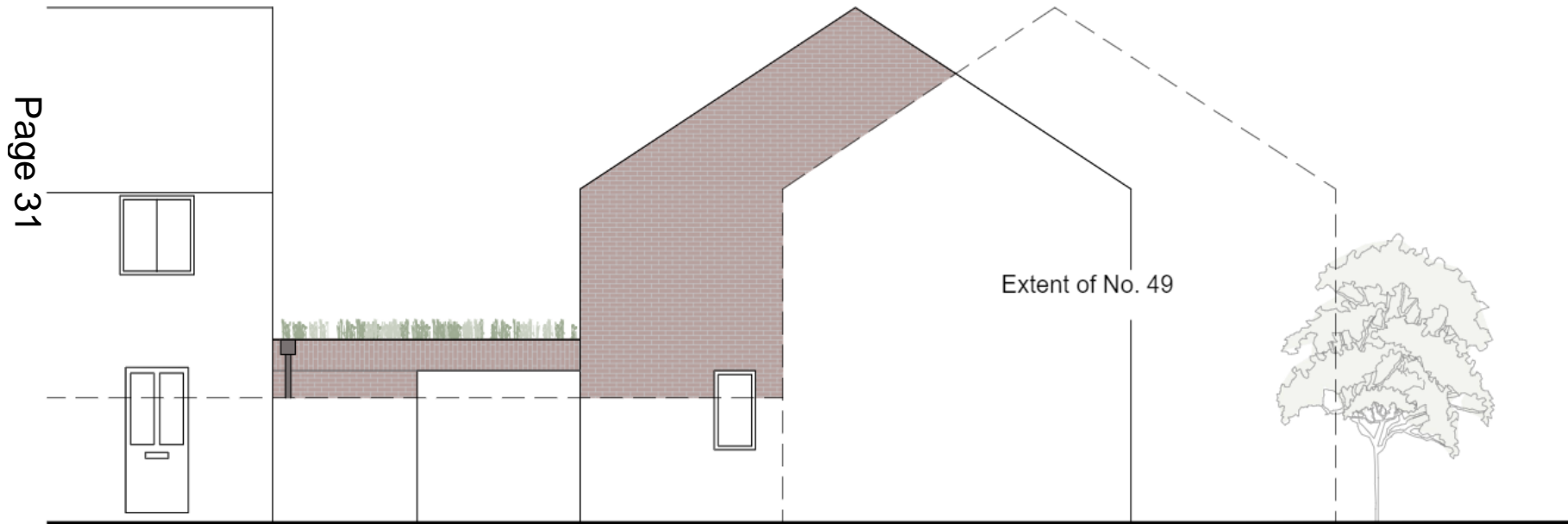
RAWLYN ROAD ELEVATION

# Northern elevation



REAR ELEVATION

# Western elevation



SIDE ELEVATION

# Planning Balance

## Approval

Key material considerations

- Efficient use of land
- Sustainable location
- Contributing to housing supply
- Sustainable high-quality home
- Preserves spacious character
- Raises the design standard of the area
- Preserves surrounding residents' amenity



## Refusal

Key material considerations

- None

Officer Recommendation: Approve



# 21/01791/FUL Land Rear Of 190 Green End Road - Site Location Plan

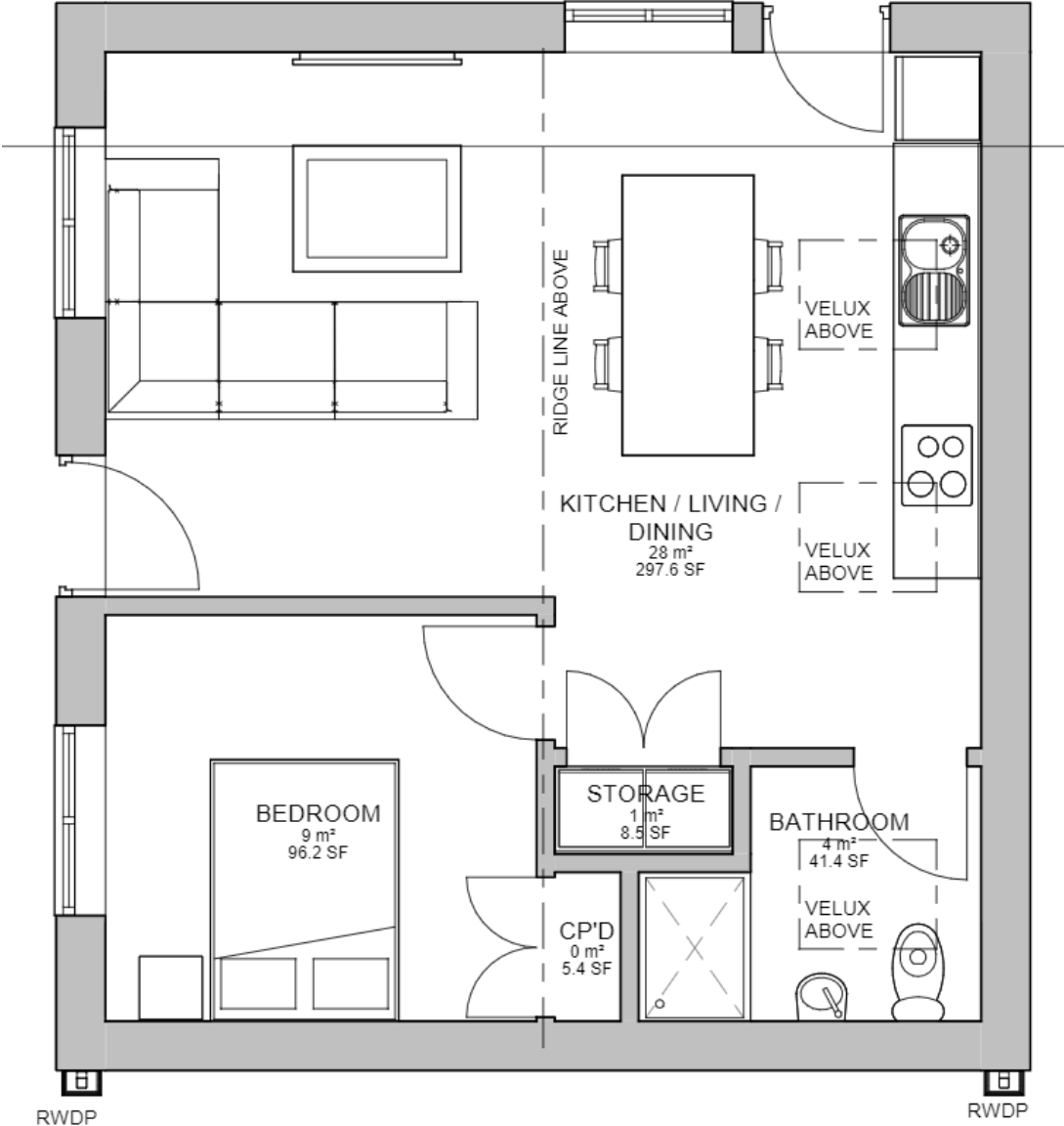
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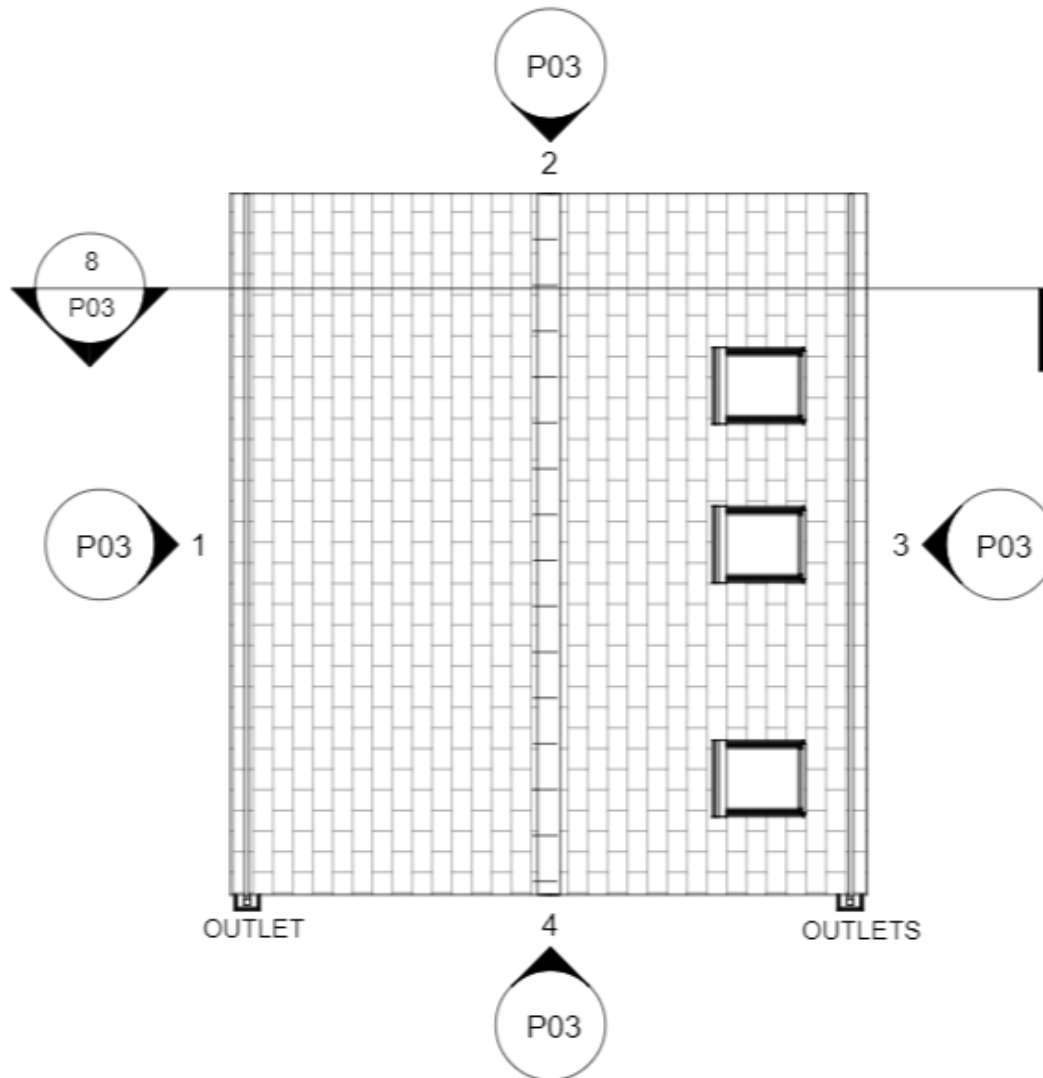
# Proposed floor plans

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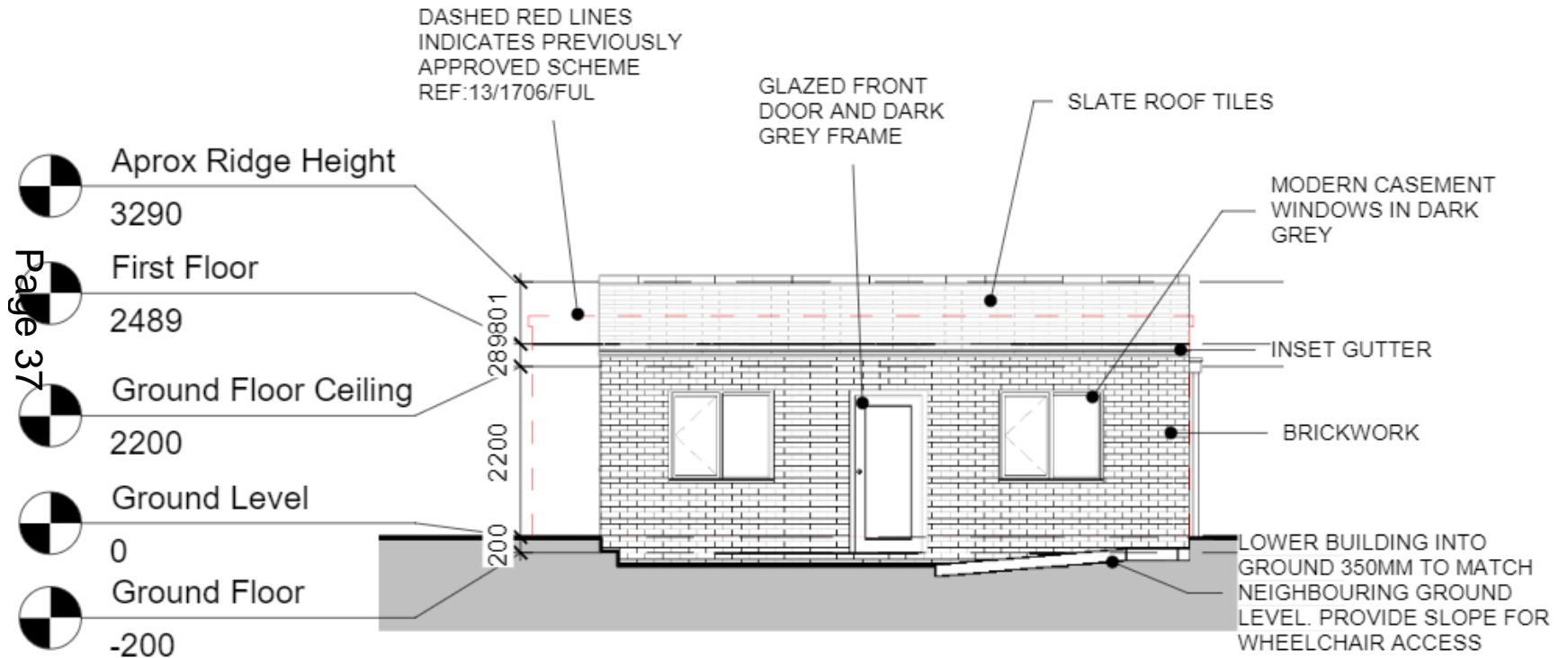


# Proposed roof plan

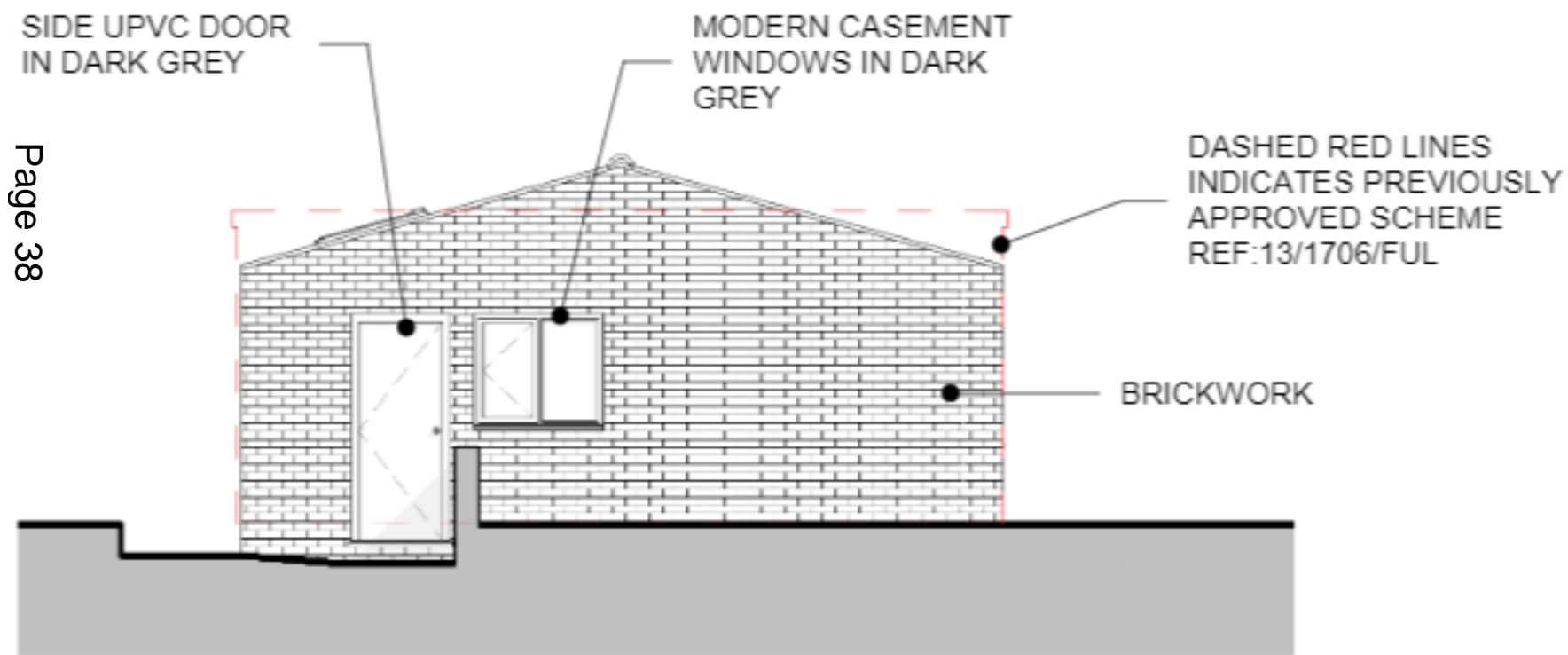
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# Proposed front (west) elevation

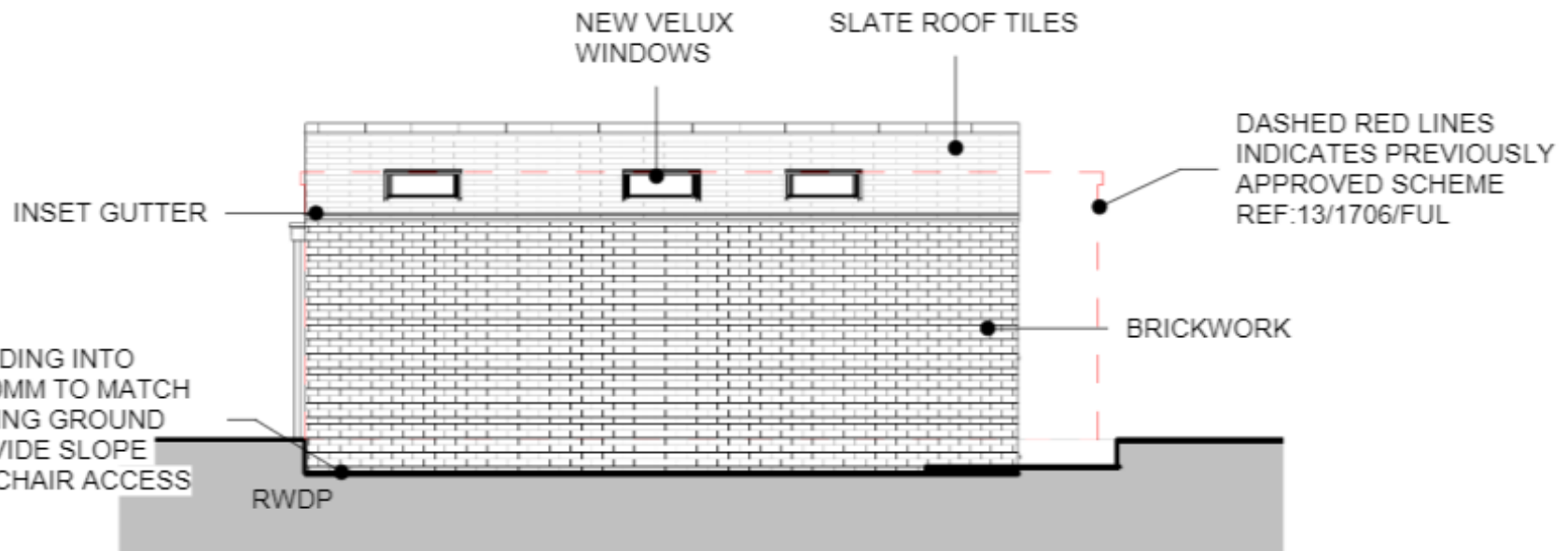


# Proposed side (north) elevation



# Proposed rear (east) elevation

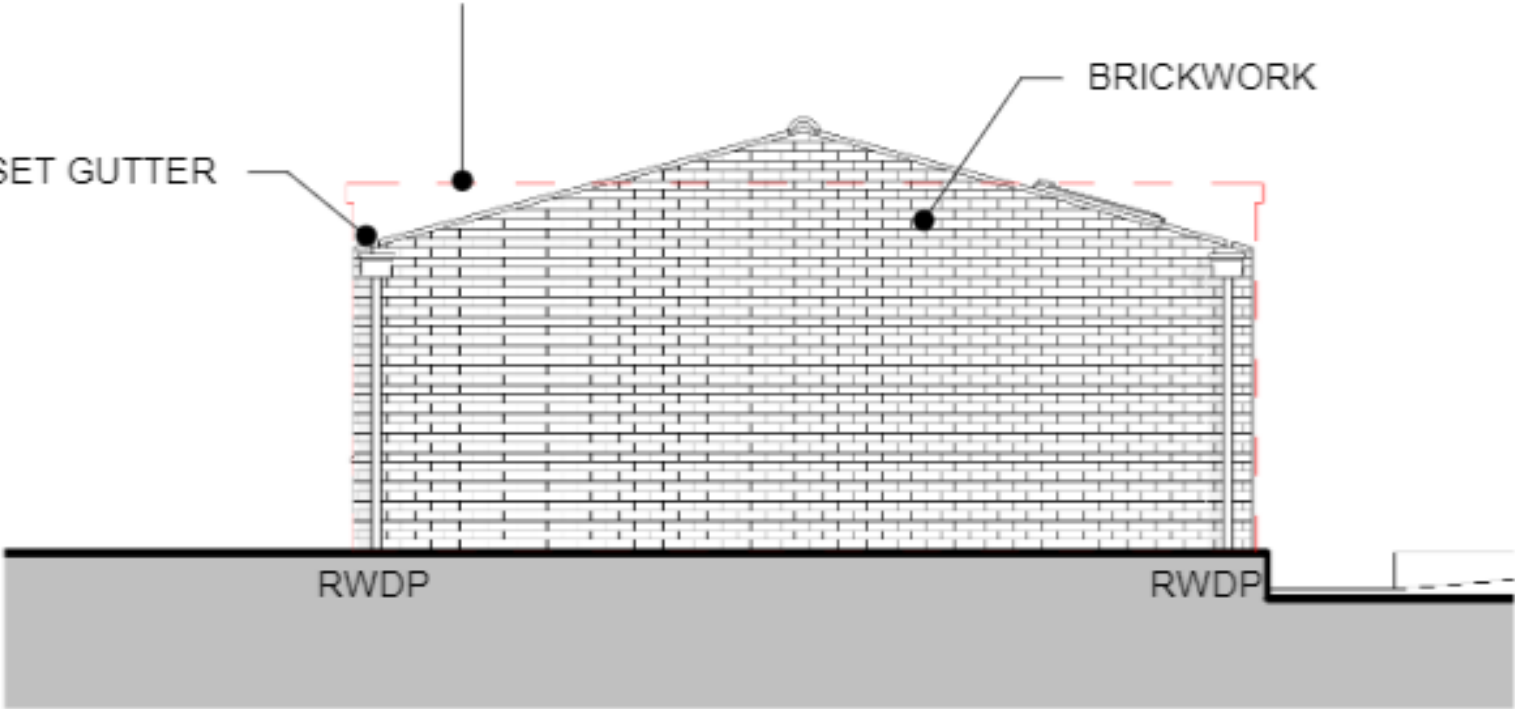
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# Proposed side (south) elevation

DASHED RED LINES  
INDICATES PREVIOUSLY  
APPROVED SCHEME  
REF:13/1706/FUL

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# Planning Balance

## Approval

Key material considerations

- New dwelling in sustainable location
- Contribute to housing supply  
In keeping with character of the area
- No harm to amenity
- Enhances the amenity for flat at no. 190 Green End Road



## Refusal

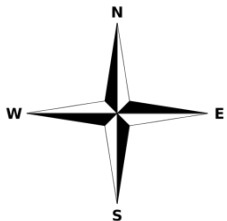
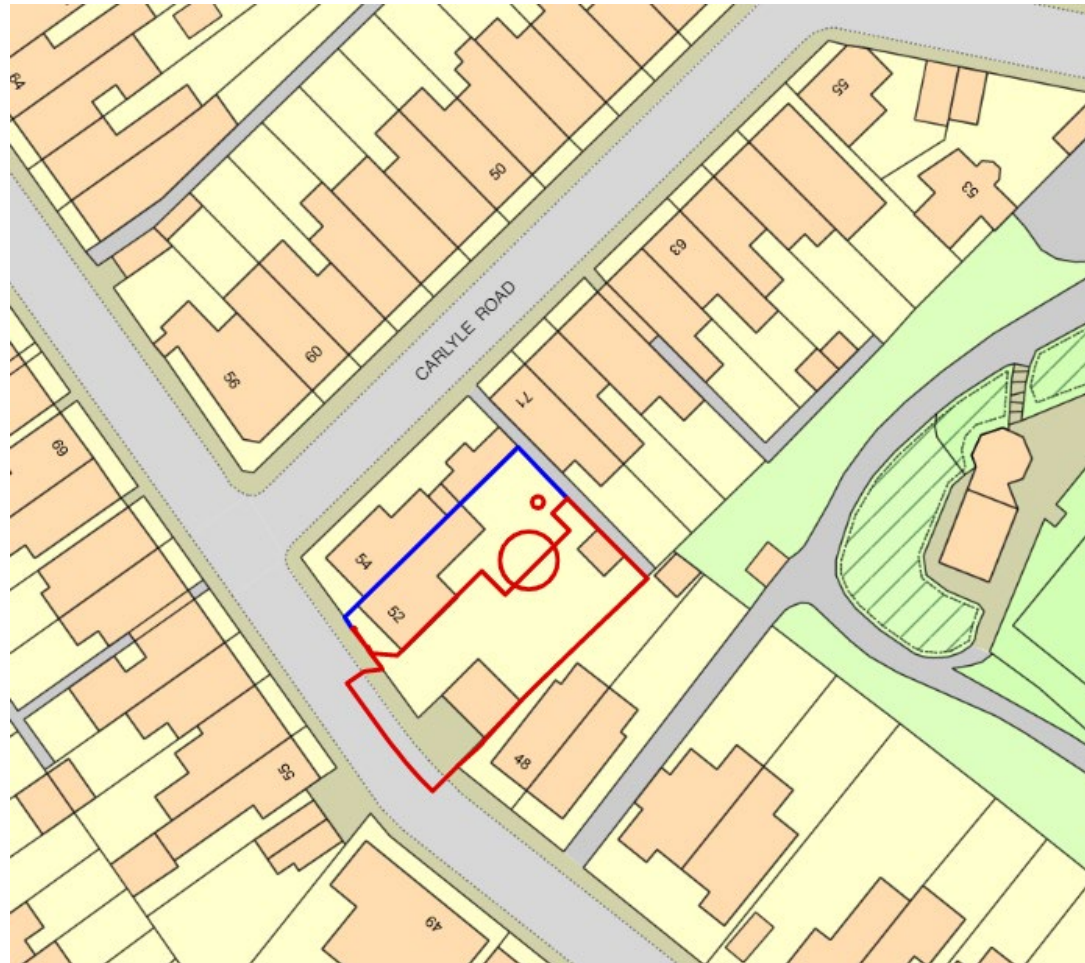
Key material considerations

- None

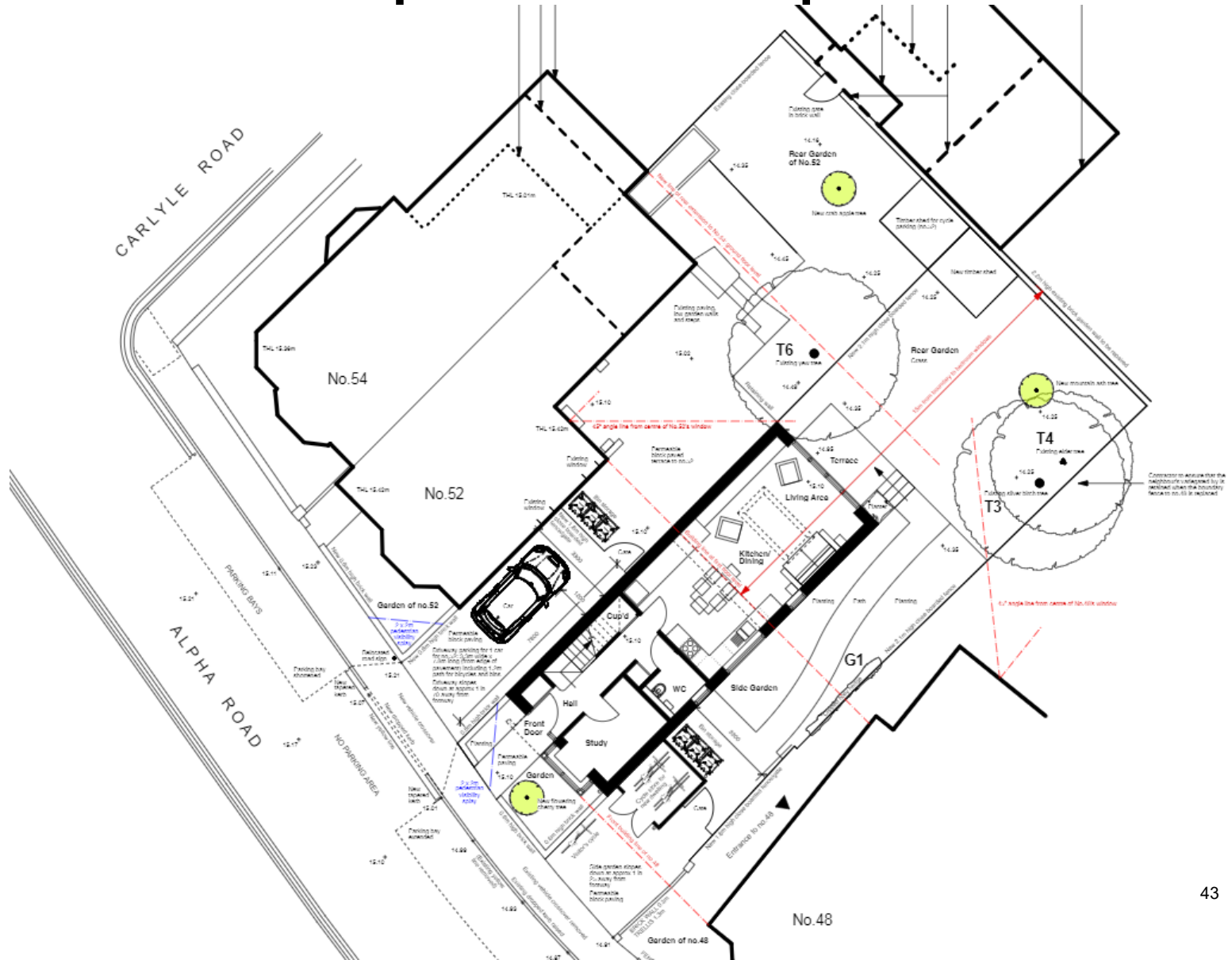
Officer Recommendation: Approve

# 22/04538/FUL 52 Alpha Road Site Location Plan

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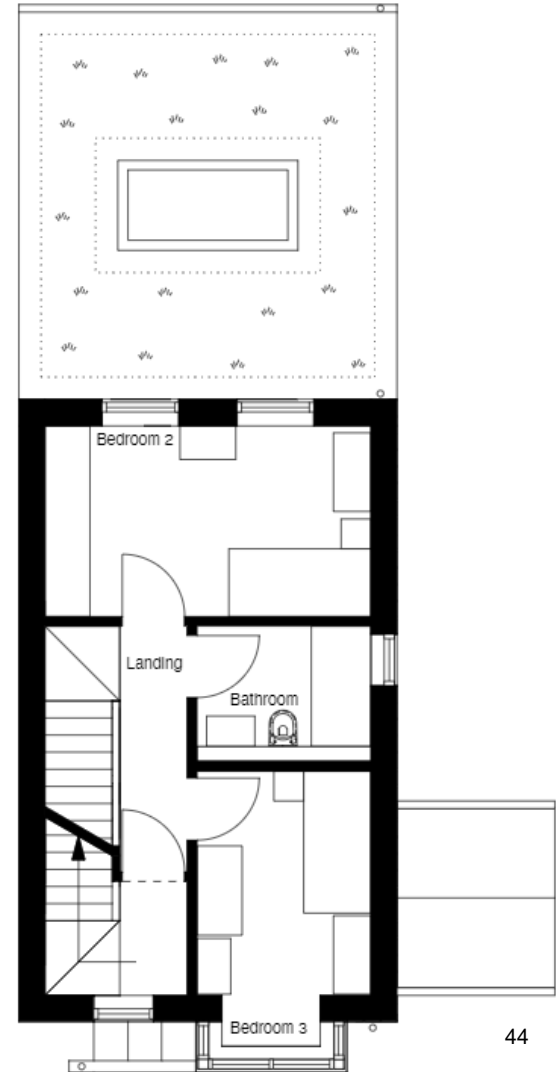
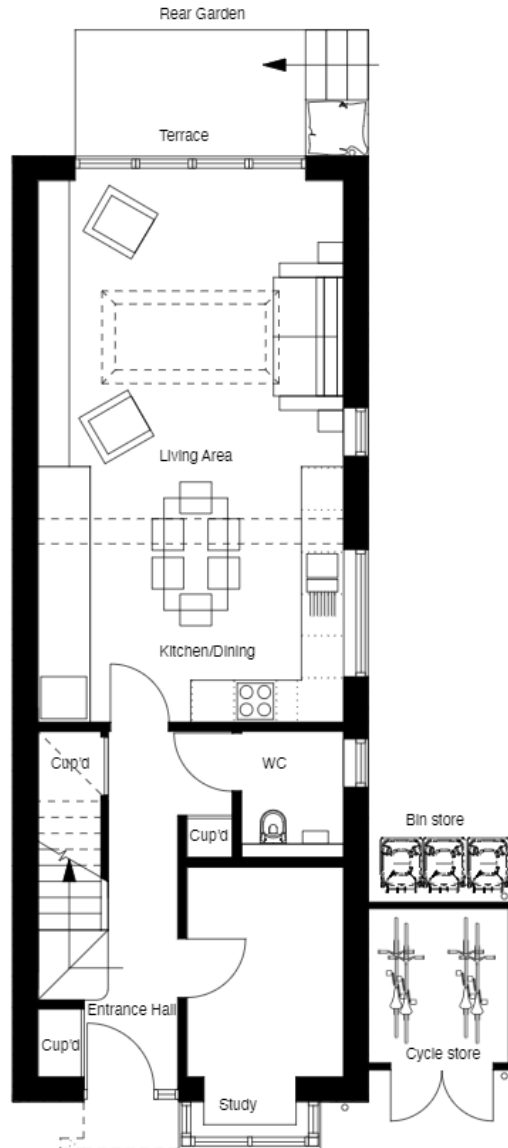


# Proposed site plan



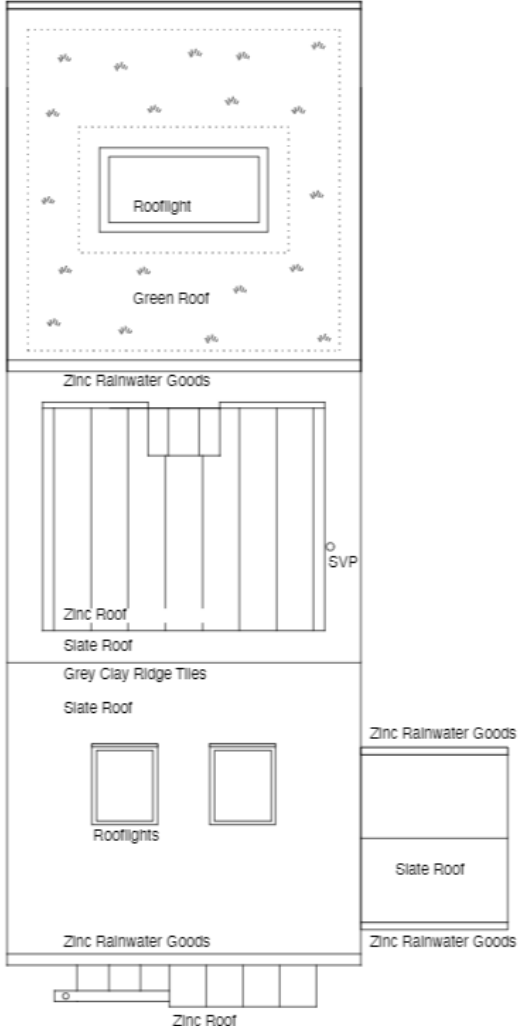
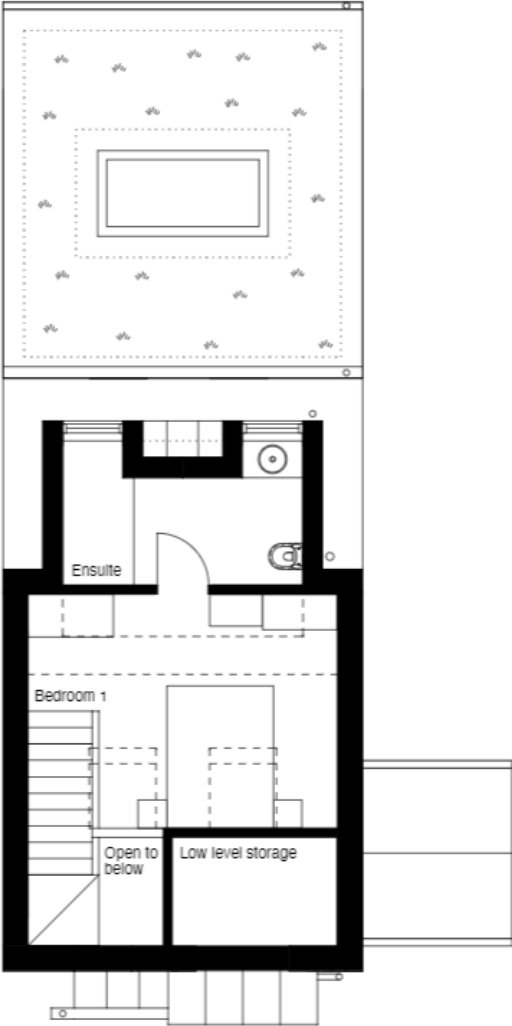
# Proposed ground & first floor plan

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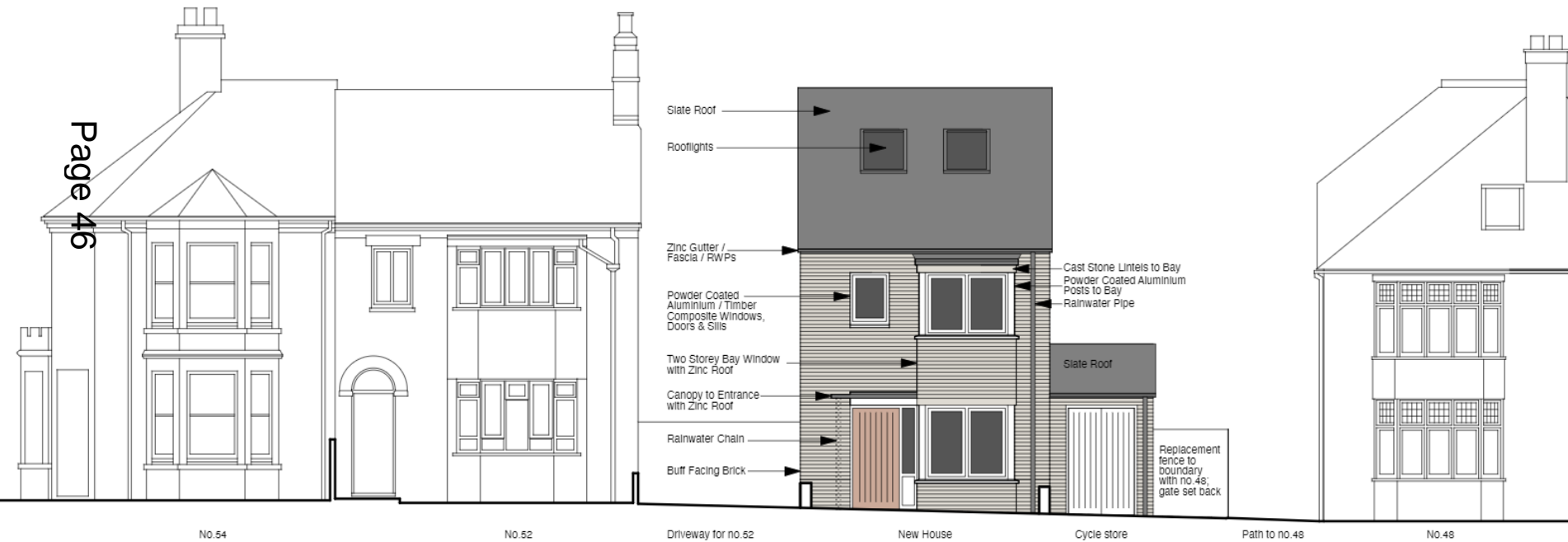
# Proposed second floor plan & roof plan

Page 45



# Proposed front elevation

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No. 54

No. 52

Driveway for no. 52

New House

Cycle store

Path to no. 48

No. 48

Slate Roof

Rooflights

Zinc Gutter /  
Fascia / RWPs

Powder Coated  
Aluminium / Timber  
Composite Windows,  
Doors & Sills

Two Storey Bay Window  
with Zinc Roof

Canopy to Entrance  
with Zinc Roof

Rainwater Chain

Buff Facing Brick

Cast Stone Lintels to Bay  
Powder Coated Aluminium  
Posts to Bay  
Rainwater Pipe

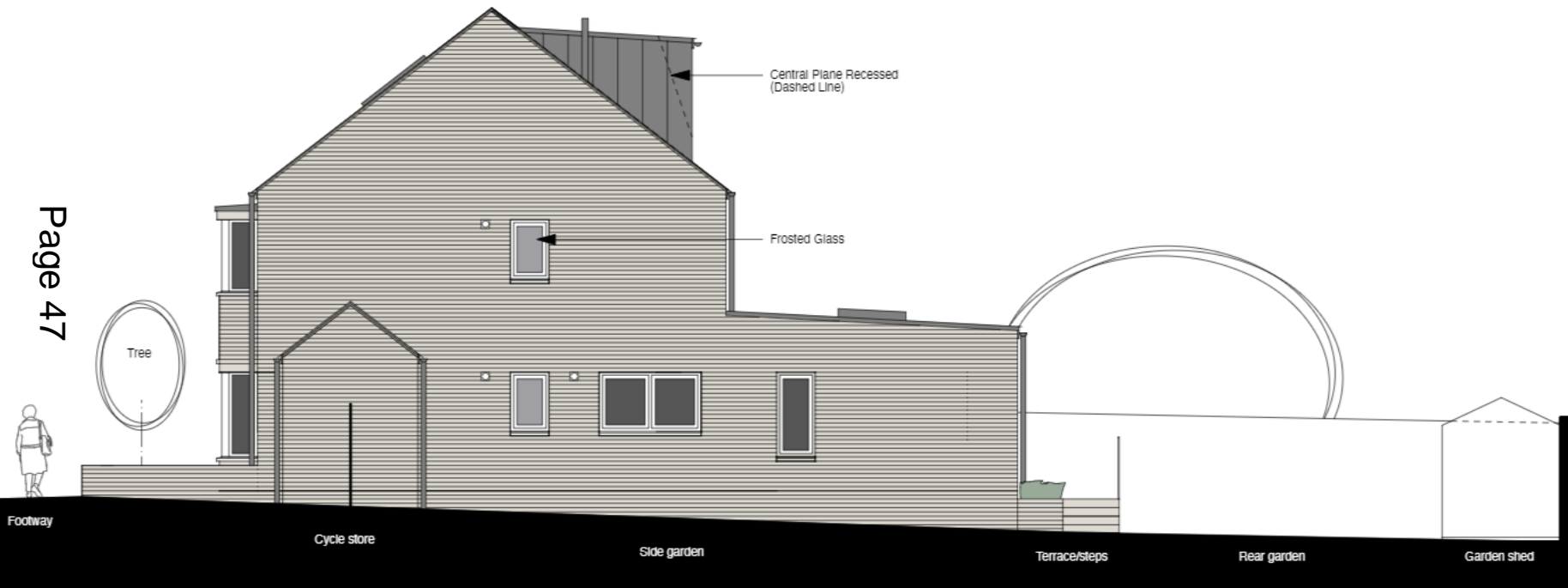
Slate Roof

Replacement  
fence to  
boundary  
with no. 48;  
gate set back

DATUM 14.00m

# Proposed side elevation

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# Proposed rear elevation

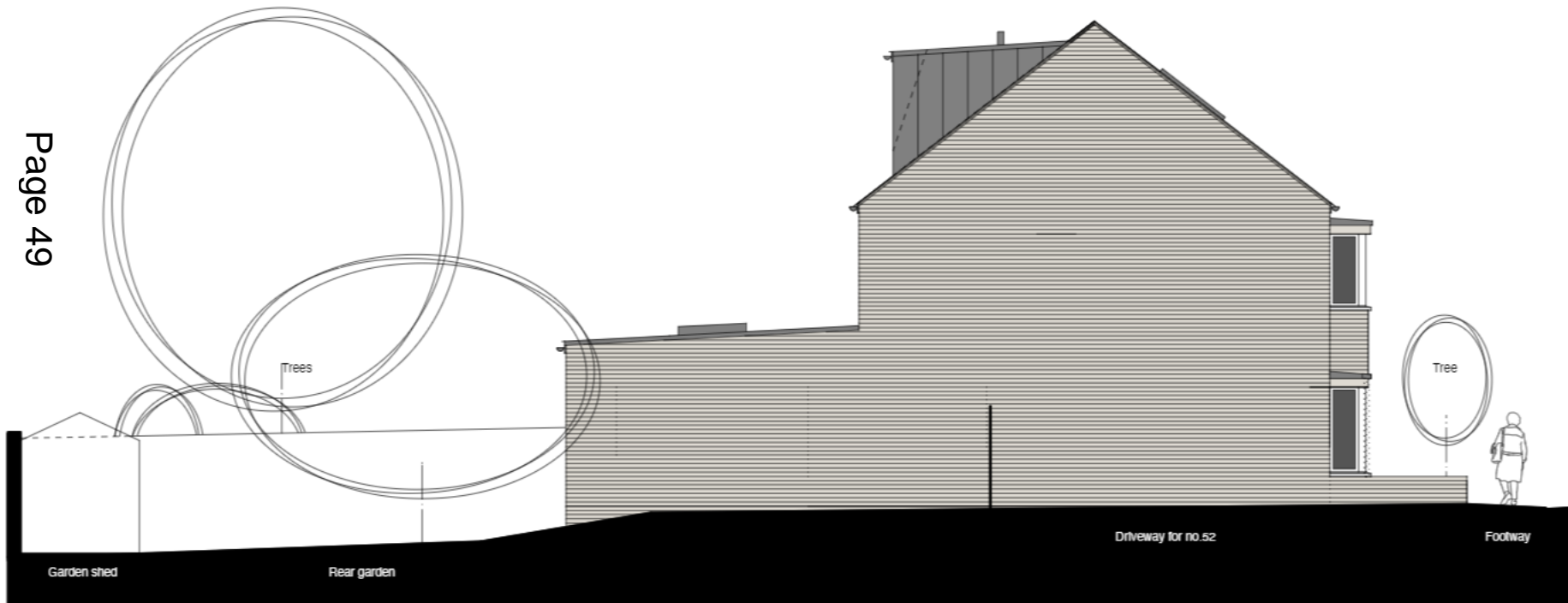


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# Proposed side elevation

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# Planning Balance

## Approval

Key material considerations

- Sustainable home in a sustainable location
- Contribute to housing supply
- In keeping with the character and appearance of the conservation area
- Good level of amenity for future occupiers
- Respects amenity of surrounding residents



## Refusal

Key material considerations

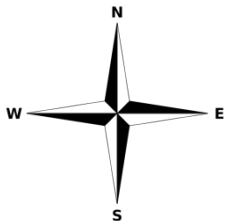
- None

Officer Recommendation: Approve

# 22/05304/FUL

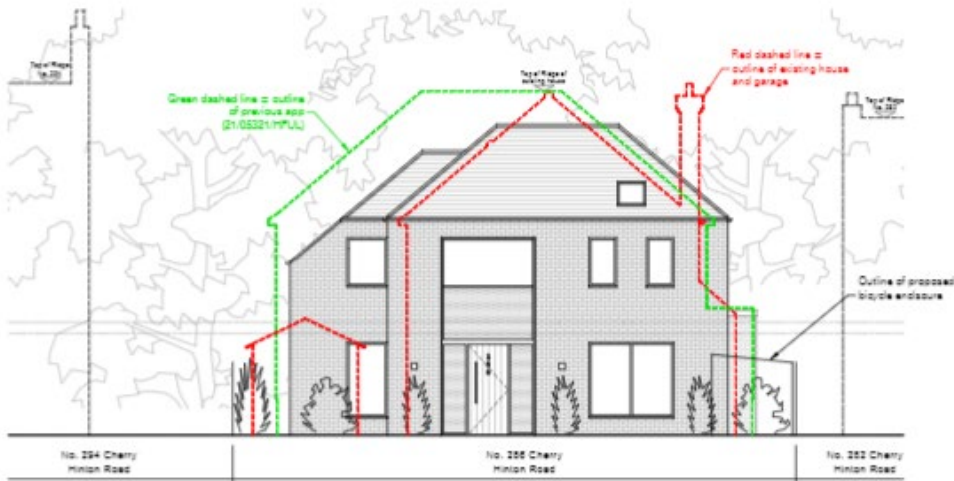
## 286 Cherry Hinton Road

### Site Location Plan

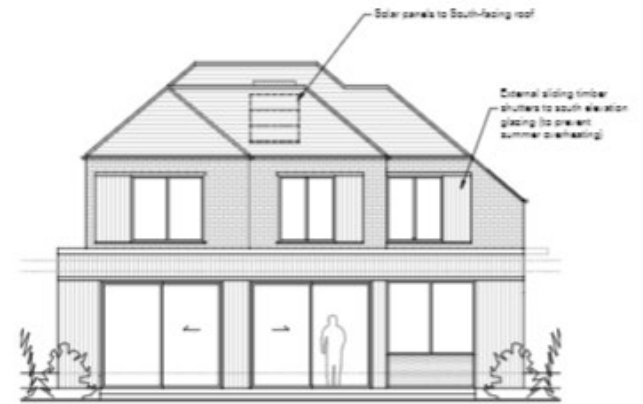


# Proposed Elevations

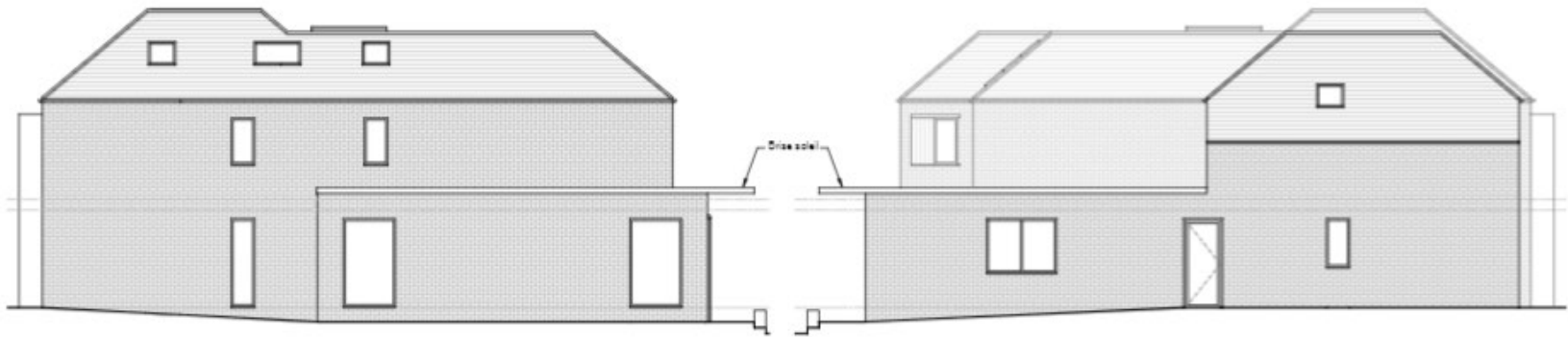
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Front (N) Elevation



Rear (S) Elevation



Side (W) Elevation

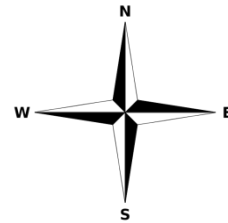
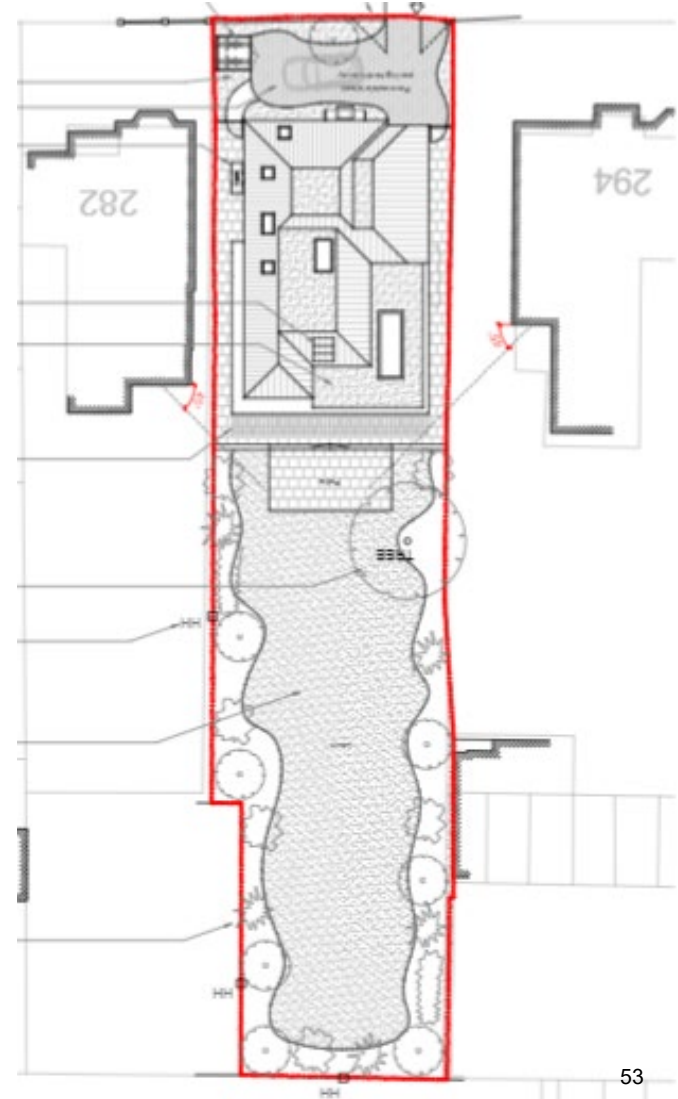
Side (E) Elevation

# Site Plans

## Existing



## Proposed



# Planning Balance

## Approval

### Key material considerations

- The proposed development is considered to enhance the site by allowing an aged property with limited internal space to be replaced by a successfully designed contemporary property.
- Greater levels of internal space, greater provisions for biodiversity and renewable technologies.
- The proposal adequately respects the residential amenity of its neighbours and the constraints of the site.



## Refusal

### Key material considerations

- None

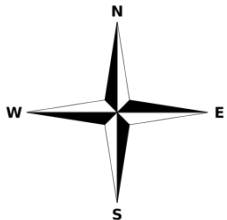
Officer Recommendation: Approve

# 23/00184/S73

## 85 Coleridge Road

### Site Location Plan

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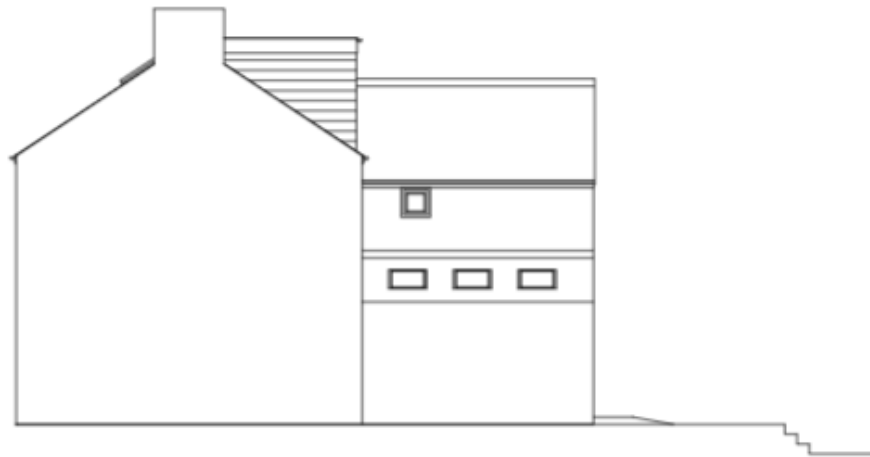


# Approved Scheme - Elevations (22/04988/HFUL)

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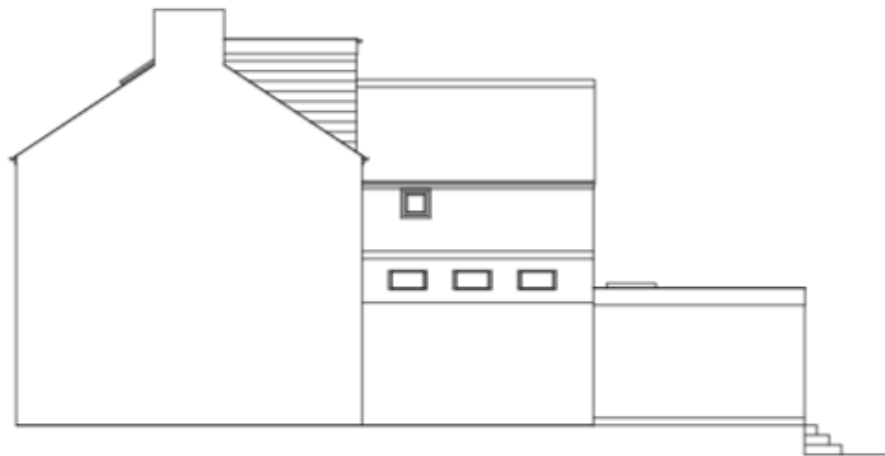
**Existing Rear Elevation**



**Existing Side Elevation**



**Proposed Rear Elevation**



**Proposed Side Elevation**

Down



# Approved Scheme - Roof Plan

## 22/04988/HFUL

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Existing Ground Floor



Proposed Ground Floor

# Cambridge Local Plan 2018

## Policy 31

- f. any flat roof is a green or brown roof, providing that it is acceptable in terms of its context in the historic environment of Cambridge (see Policy 61: Conservation and Enhancement of Cambridge's Historic Environment) and the structural capacity of the roof if it is a refurbishment. Green or brown roofs should be widely used in large-scale new communities;

# Planning Balance

## Approval

Key material considerations



## Refusal

Key material considerations

- There are appropriate alternatives available.
- Biodiverse roofs provide extensive benefits for surface water management, biodiversity and energy usage.

Officer Recommendation: Refuse

# 22/04718/FUL/34 Cherry Hinton Road

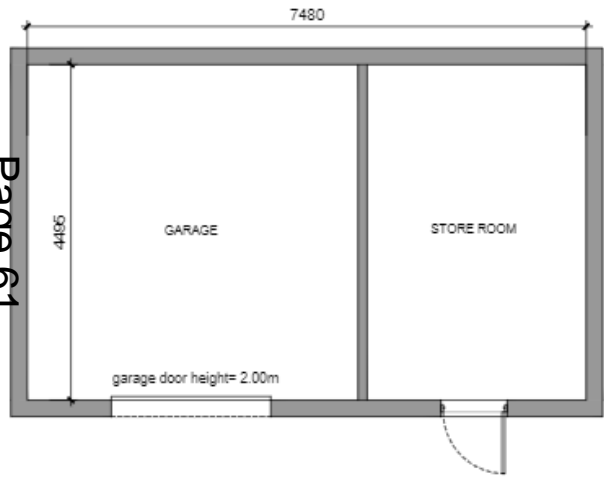
## Site Location Plan

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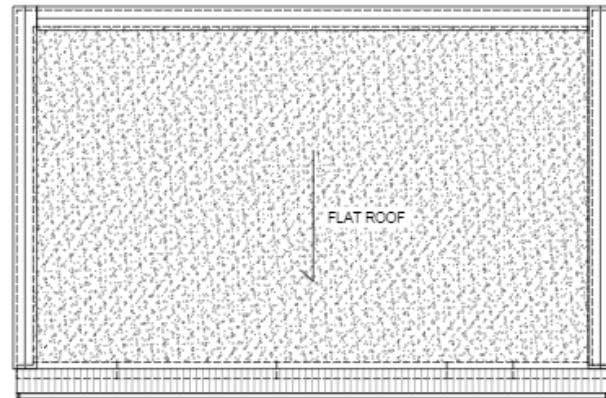


# Existing Floor and Roof Plan

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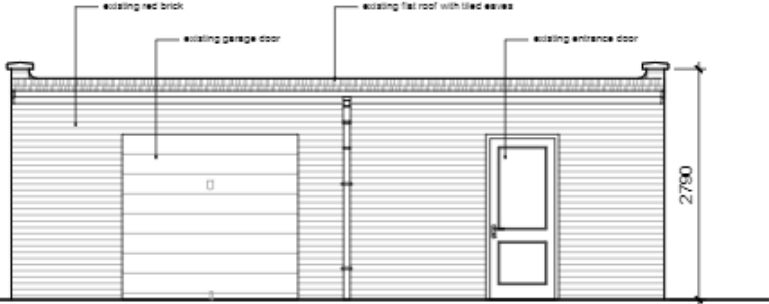


EXISTING GARAGE GROUND FLOOR PLAN  
scale 1:50

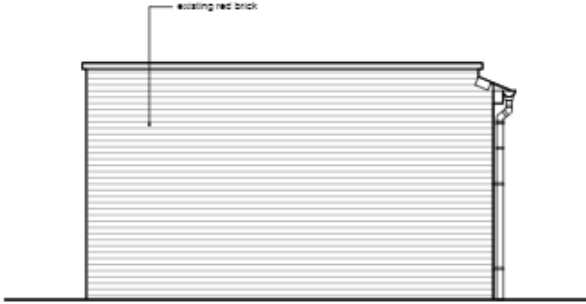


EXISTING GARAGE ROOF PLAN  
scale 1:50

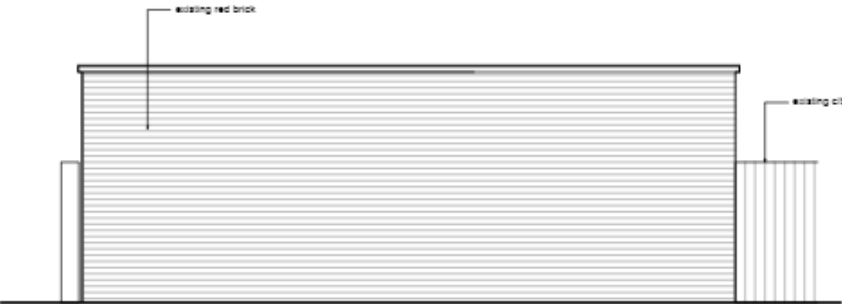
# Existing Elevation



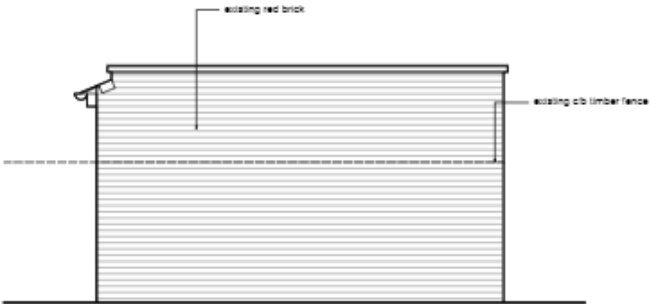
EXISTING GARAGE FRONT ELEVATION  
scale 1:50



EXISTING GARAGE SIDE ELEVATION  
scale 1:50



EXISTING GARAGE REAR ELEVATION  
scale 1:50



EXISTING GARAGE SIDE ELEVATION  
scale 1:50

# Planning Balance

## Approval

Key material considerations

Re-use of a garage for a  
University use

Amenity harm is to be  
conditioned

Sustainable location



## Refusal

Key material considerations

Officer Recommendation: Approve

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